xempt Swinging Door (24 sq. ft. max.) Exempt Glazed Fenestration (15 sq. ft. n	Ref. U-factor	Width Height Qt Feet Inch	Area UA 0.0 0.0 0.0 0.0
ertical Fenestration (Windows and do- Component		Width Height	
Description BDRM 4 BDRM 4	Ref. U-factor 0.28 0.28	Qt. Feet Inch Feet Inch 2 3 0 4 8 1 4 4 8	Area UA 28.0 7.8 18.7 5.2
REC.RM. FOYER	0.28 0.28	1 11 ¹⁰ 8 1 3 6	94.7 26.5 18.0 5.0
FOYER STUDY	0.28	1 7 ² 1 ¹⁰ 1 9 ³ 5 ¹⁰	13.1 3.6 54.0 15.1
STUDY GEN BATH GEN SUITE	0.28 0.28 0.28	1 9 2 ⁶ 3 2 ⁹ 2 ⁶ 1 7 6	22.5 6.3 20.6 5.7 42.0 11.7
GEN SUITE DINING	0.28	1 3 6 2 3 6	18.0 5.0 36.0 10.0
DINING GREAT RM	0.28 0.28	1 4 6 2 6 7	24.0 6.7 84.0 23.5
GREAT RM KITCHEN	0.28	1 9 8 1 1 5 5 5	72.0 20.1 27.1 7.5
PREP LAUNDRY BATH 2WIC	0.28 0.28 0.28	2 3 5 ° 1 3 5 5 3 2 10 2 6	32.5 9.1 16.3 4.5 21.3 5.9
BDRM 2/3 BDRM 2/3	0.28	2 7 4 6 2 2 10 4 6	63.0 17.6 25.5 7.1
UPPER LANDING OWNERS SUITE	0.28 0.28	1 9 7 4 3 5	63.0 17.6 60.0 16.8
OWNERS SUITE OWNERS BATH	0.28	1 5 5 1 5 2 ⁶	25.0 7.0 12.5 3.5
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	0.28	ertical Fenestration Area and UA	0.0 0.0 891.6 249.6
		tion Area Weighted U = UA/Area	891.6 249.6
verhead Glazing (Skylights) Component		Width Height	
Description	Ref. U-factor	Qt. Feet Inch Feet Inch	Area UA 0.0 0.0
			0.0 0.0 0.0 0.0 0.0 0.0
			0.0 0.0
	Sum o	Overhead Glazing Area and UA	0.0 0.0
		zing Area Weighted U = UA/Area	
Total Sum of Equatration /	Overhead Glaz	oting augtom ciring coloulations	0.0
Total Sum of Fenestration A	Overhead Glaz	ating system sizing calculations	
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NFPA 13d Fire Sprinkler System Required

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- 2. FOUNDATION PLAN
- 3. BASEMENT PLAN
- 4. MAIN FLOOR FRAMING
- 5. MAIN FLOOR PLAN
- 6. UPPER FLOOR FRAIMING
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- 8. ROOF FRAMING PLAN
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- S3.1 CONCRETE DETAILS
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- S3.4 WOOD FRAMING DETAILS
- S3.5 WOOD FRAMING DETAILS

COMPONENT	AIR BARRIER CRITERIA	INSULATION CRITERIA*
General Requirements	A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be	Air-permeable insulation shall not be used as a sealing material.
Cavity insulation installation	sealed.	All cavities in the thermal envelope shall be filled with insulation. The density of the insulation shall be at the manufacturers' product recommendation and said density shal be maintained for all volume of each cavity. Batt type insulation will show no voids or gaps and maintain an even density for the entire cavity. Batt insulation shall be installed in the recommended cavity depth. Where an obstruction in the cavity due to services, blocking, bracing or other obstruction exists, the batt product will be cut to fit the remaining depth of the cavity. Where the batt is cut around obstructions, loose fill insulation shall be placed to fill any surface or concealed voids, and at the manufacturers' specified density. Where faced batt is used, the installation tabs must be stapled to the face of the stud. There shall be no compression to the batt at the edges of the cavity due to inset stapling installation tabs. Insulation that upon installation readily conforms to available space shall be installed filling the entire cavity and within the manufacturers' density recommendation.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier. Batt insulation installed in attic roof assemblies may be compressed at exterior wall lines to allow for required attic ventilation.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation fo framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing and skylights and framing shall be sealed.	

COMPONENT	AIR BARRIER CRITERIA*	INSULATION CRITERIA*
Rim Joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking or floor framing cavity insulation shall be permitted to be in contact with the topside of sheathing or continuous insulation installed on the underside of floor framing and extend from the bottom to the top of all perimeter floor framing members.
Crawl space wails	Exposed earth in unvented crawl spaces shall be covered with a Class I, black vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawispace walls.
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit and installed to the correct density without any voids or gaps or compression, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls. There shall be no voids or gaps or compression where cut to fit. Insulation that on installation readily conforms to available space shall extend bethind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior wall	The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.	
HVAC register boots	HVAC supply and return register boots shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

Prescriptive Checklist for the 2018 Washington State Energy Code - Residenti

ENGINEER:

SWENSON SAY FAGET CONTACT: JOCELYN TETREAULT 2124 THIRD AVENUE, SUITE 100 SEATTLE, WA. 98121 PH. 206-443-6212, FAX 206-443-4870 E-MAIL: jtetreault@swensonsayfaget.com

BUILDER

WILLIAM E. BUCHAN INC 2630 116TH AVE NE BELLEVUE, WA. 98004 PHONE: 425-828-6424 FAX: 425-828-4435 www.BUCHANHOMES.COM

GENERAL NOTES

ALL WORK SHALL CONFORM TO CURRENT CODES INCLUDING BUT NOT LIMITED TO:

2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL RESIDENTIAL CODE

2018 INTERNATIONAL MECHANICAL CODE

2018 EDITION OF ANSI Z223.1, NFPA 54, NATIONAL FUEL GAS CODE 2018 EDITION OF NFPA 58, LIQUEFIED PETROLEUM GAS CODE

2018 INTERNATIONAL FUEL GAS CODE CODE 2018 INTERNATIONAL FIRE CODE

2018 UNIFORM PLUMBING CODE

2018 WASHINGTON STATE ENERGY CODE

SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, AND SITE CONDITIONS, AND SHALL NOTIFY THE BUILDER IMMEDIATELY IN WRITING OF ANY DISCREPANCIES, ERRORS, OR OMISSIONS PRIOR TO PROCEEDING WITH THE WORK.

DO NOT SCALE THE DRAWINGS FOR CRITICAL DIMENSIONS. DIMENSIONS ARE SHOWN TO FACE OF STUDS UNLESS INDICATED OTHERWISE.

ALL SUB-CONTRACTORS SHALL

VERIFY ALL REQUIREMENTS FOR THIS PROJECT AND COMPLY WITH ALL LOCAL CODES, SUBMIT PLANS FOR APPROVAL AND OBTAIN PERMIT BEFORE STARTING WORK.

DO NOT VARY OR MODIFY THE WORK SHOWN WITHOUT WRITTEN AUTHORIZATION FROM THE BUILDER.

DETAILS WHICH OCCUR BOTH RIGHT- AND LEFT-HAND ARE SHOWN ONLY ONCE. TYPICAL DETAILS ARE NOT REFERENCED AT ALL

ENERGY CODE OPTIONS

HEATING OPTIONS: #2 HEAT PUMP = 1 CREDIT

1.3 EFFICIENT BUILDING ENVELOPE OPTIONS = .5 CREDITS Prescriptive compliance is based on Table R402.1.1 with the following modifications: Vertical fenestration U = 0.28Floor R-38

Slab on grade R-10 perimeter and under entire slab, below grade slab R-10 perimeter and under entire slab or,

Compliance based on Section R402.1.4: Reduce the Total conductive UA by 5%.

3.5 HIGH EFFICIENCY HVAC EQUIPMENT OPTIONS = 1.5 CREDITS Air-source, centrally ducted heat pump with minimum HSPF of 11.0. Outdoor heat pump - Hitachi HVAHP060B21S VRF (5 ton, 64,000 Max BTU/h) Multi-Stage 6,400 BTU/h - 64,000 BTU/h (11.0 HSPF efficiency). Indoor Air Handler - Hitachi AP60DX22 (5 ton blower with coil).

4.2 HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM OPTIONS = 1 CREDIT HVAC equipment and associated duct system(s) installation shall comply with the requirements of Section R403.3.7.

Locating system components in crawl spaces is not permitted under this option. Electric resistance heat and ductless heat pumps are not permitted under this option. Direct combustion heating equiptment with AFUE less than 80% is not permitted under this option.

To qualify to claim this credit, the building permit drawings shall specify the option be selected and shall specify the heating equiptment type, and shall show the location of the heating and cooling equiptment and all ductwork.

Ventilation - Air King model FAS (supply fan ventilation - 110CFM continuously operating, home requires 106 CFM)

5.5 EFFICIENT WATER HEATING OPTIONS = 2 CREDITS

Water heating system shall include one of the following:

Electric heat pump water heater meeting the standards for Tier III of NEEA's advanced water heating specifications.

Water heater - RUUD PROH80T2RU310BM (80 gallon heat pump water heater, UEF=3.5, Tier III)

TOTAL = 6 CREDITS

VAPOR RETARDER CLASS I OR II CLIMATE ZONE MARINE 4:

6-Mil Poly Vapor Barrier in Crawl Space

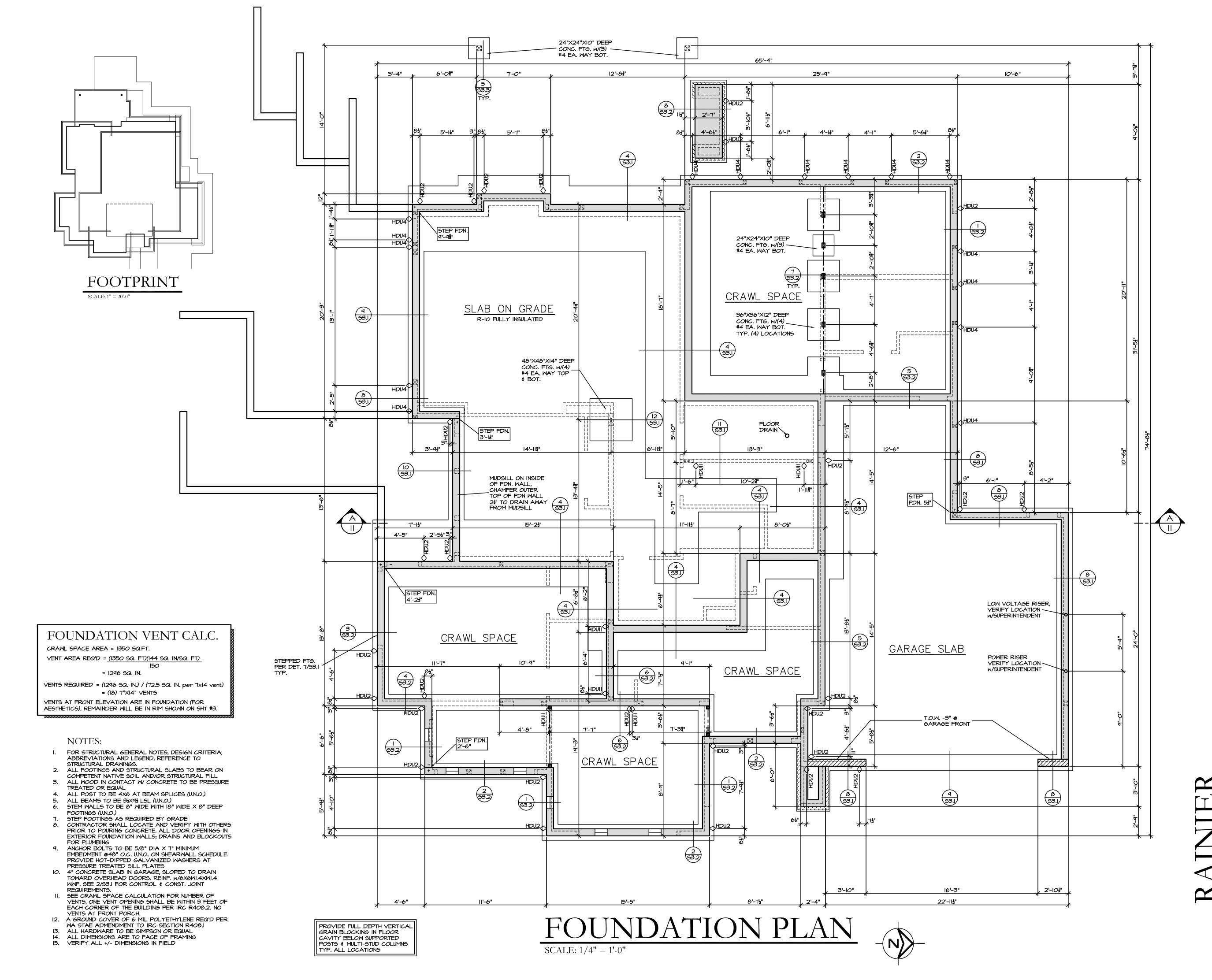
R-21 Poly Encapsulated at Rim Joist

PVA Paint at Interior Sheet Rock (Roof/Ceiling assemblies and Exterior Walls) must have rating of 1.0 perm or less.

JOB NO. 9118

10/14/ DRAWN BY

> DS **ENGINEER** S.S.F.



ON PLAN RWOOD DR.

JOB NO.

DATE DRAWN BY DS

ENGINEER S.S.F.

REVISION DATE

SHEET

ELECTRICAL SYMBOLS

SMOKE DETECTOR WIRED TO HOUSE CURRENT WITH BATTERY BACKUP

608.3 Expansion Tanks, and Combination, Temperature and Pressure-Relief Valves. A water system provided with a check valve, backflow preventer, or other normally closed device that prevents dissipation of building pressure back into the water main, independent of the type of water heater used, shall be provided with an approved, listed, and adequately sized expansion tank or other approved device having a similar function to control thermal expansion. Such expansion tank or other approved device shall be installed on the building side of the check valve, backflow preventer, or other device and shall be sized and installed in accordance with the manufacturer's installation instructions..

SQUARE FOOTAC	GE CALC.
BASEMENT MAIN FLOOR UPPER FLOOR	1055 S.F. 2298 S.F. 1601 S.F.
TOTAL LIVING AREA	4960 S.F.
GARAGE COVERED PORCH COVERED PATIO UPPER FLR. DECK	730 S.F. 69 S.F. 374 S.F. 205 S.F.

GROSS FLOOR ARE	A
GROSS BASEMENT MAIN FLOOR UPPER FLOOR GARAGE	1055 S.F. 2298 S.F. 1601 S.F. 730 S.F.
TOTAL FLOOR AREA	5684 S.F.
BASEMENT EXCLUDED 829 1055 - 829 = ADJ'D BASEME	
150% GFA MODIFIER - MAIN 2298 - 53 (2' CLG'S) + 796 (2' CLG'S X 50%) ADJ'D MA	
TOTAL BLDG AREA	5121 S.F.

NOTES:

- FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE TO STRUCTURAL DRAWINGS.
- 2. ALL WOOD PLATES TO BE 9'-14" (U.N.O.)
- 3. ALL HEADERS (HDR) TO BE 4XIO @ 7'-II! EXTERIOR AND 7'-2" INTERIOR (U.N.O.) BIFOLDS @ 7'-2", POCKETS @ 7'-4\!".
- 4. ALL EXTERIOR WALLS ARE 2X6 @ 16" O.C., FOR LUMBER GRADE, REFERENCE STRUCTURAL GENERAL NOTES

 5. ALL INTERIOR BEARING WALLS ARE 2X4 @ 16" O.C., FOR LUMBER
- GRADE, REFERENCE STRUCTURAL GENERAL NOTES. 6. HEADERS (HDRS)/BEAMS (BMS) SHOWN BUT NOT SPECIFIED SHALL BE 4XIO (U.N.O.). ALL HEADERS/BEAMS SHOWN SHALL BE SUPPORTED BY (2) TRIMMER AND (1) KING STUD MINIMUM (U.N.O.). WHERE MORE THAN (2) TRIMMER IS REQUIRED, THE NUMBER OF TRIMMER STUDS SHALL BE NOTED THUS: (N). TRIMMER LOADS TO BE ADEQUATELY TRANSFERRED
- 7. THE WATER RESISTANT VAPOR GWB BASE FOR TILE IN THE SHOWER ENCLOSURES SHOULD NOT BE USED OVER A VAPOR BARRIER OR ON
- THE CEILING

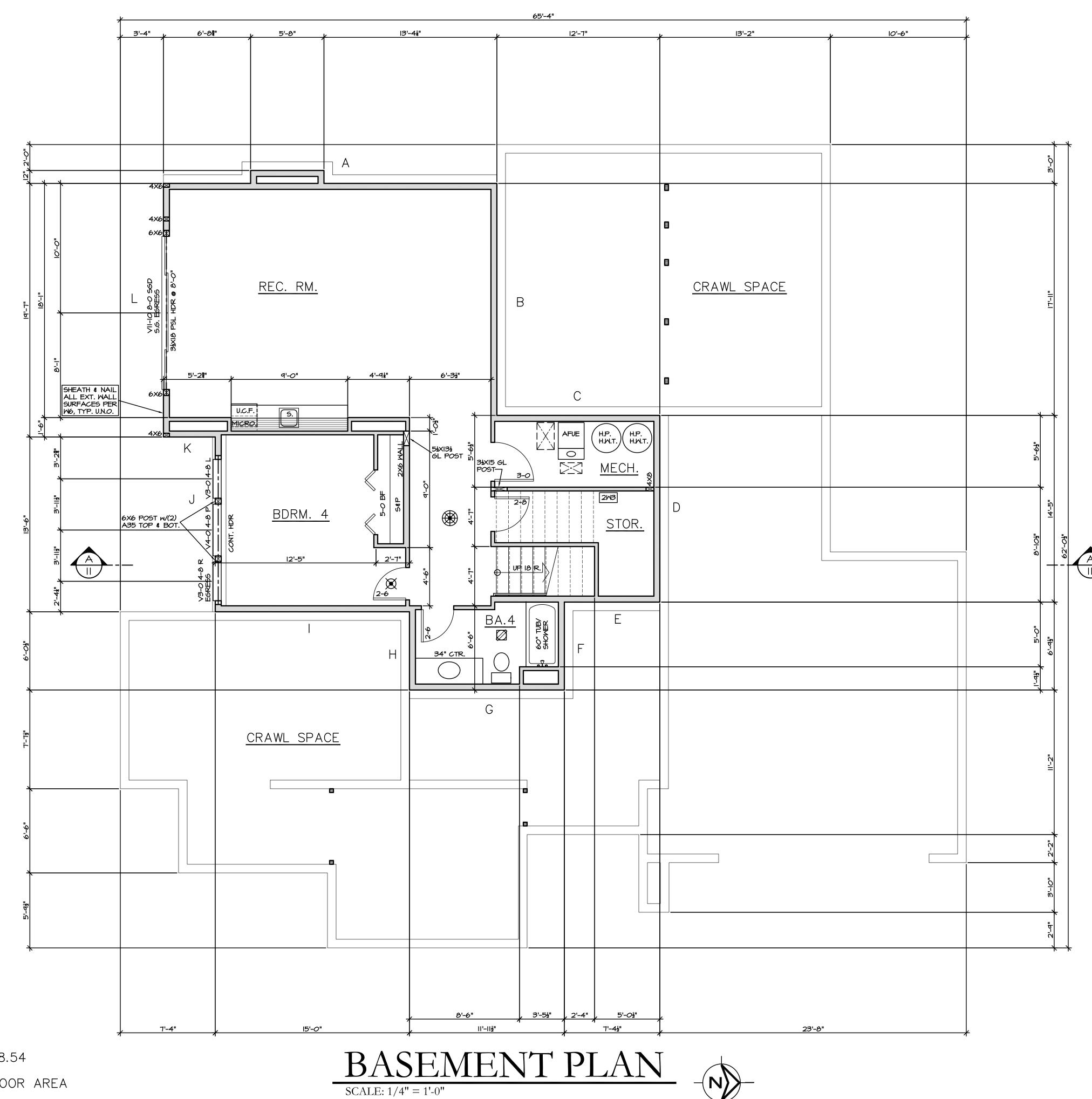
 8. ALL DIMENSIONS TO FACE OF FRAMING

 9. ALL HARDWARE TO BE SIMPSON OR EQUAL
- IO. VERIFY ALL +/- DIMENSIONS IN FIELD.
 II. ALL EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE.

BASEMENT FLOOR AREA CALCULATION

WALL SEGMENT	LENGTH X	COVERAGE =	RESULT
Α	25.75	100%	25.75%
В	17.92	100%	17.92%
C	12.58	100%	12.58%
D	14.42	100%	14.42%
E	7.37	100%	7.37%
F	6.79	100%	6.79%
6	11.96	100%	11.96%
Н	6.04	100%	6.04%
	15.0	100%	15.0%
J	13.5	22%	2.97%
K	4.0	22%	.88%
L	19.58	0%	0%
TOTALS	154.92	NA	121.68%

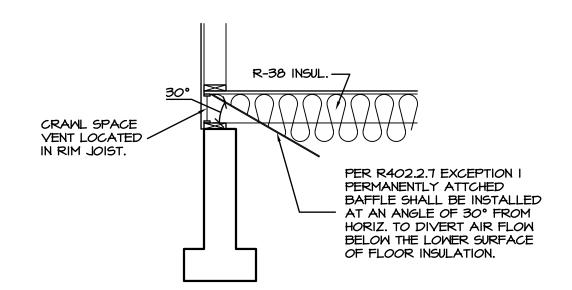
TOTAL BASEMENT FLOOR AREA = $1055 \text{ SQ. FT. } \times 121.68/154.92 = 78.54$



10/14/2

S.S.F.

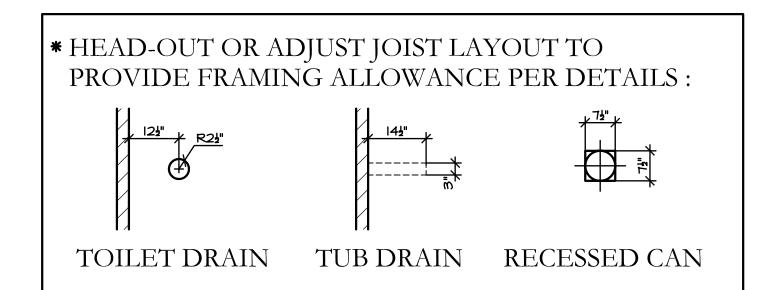
- . ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED OR NATURALLY RESISTENT TO DECAY. TREAT ALL CUT ENDS WITH END CUT SOLUTION. USE GROUND CONTACT TREATED WOOD. ALL WOOD TO BE HEM-FIR #2 OR BETTER.
- . FASTENERS , NAILS, HANGERS, ETC. , STAINLESS STEEL, HOT-DIPPED GALVANIZED, OR AS SPECIFICALLY REQUIRED FOR THE SPECIFIED WOOD PRESERVATIVE USED. THE COATING WEIGHTS FOR ZINC COATED FASTENERS TO BE IN ACCORDANCE WITH ASTM
- . ATTACHEMENT TO BE PER MANUFACTURE SPECIFICATIONS.



(A) CRAWL SPACE VENT BAFFLE SCALE: 1/4" = 1'-0"

R-38 INSULATION SHALL BE HELD IN PLACE WITH OUT COMPRESSION. USE LOOSE TWINE METHOD, SO AS TO NOT COMPRESS THE MATERIAL WITH FASTENERS AT 24" O.C. MAX

INSULATION DETAIL SCALE: 1/2" = 1'-0"

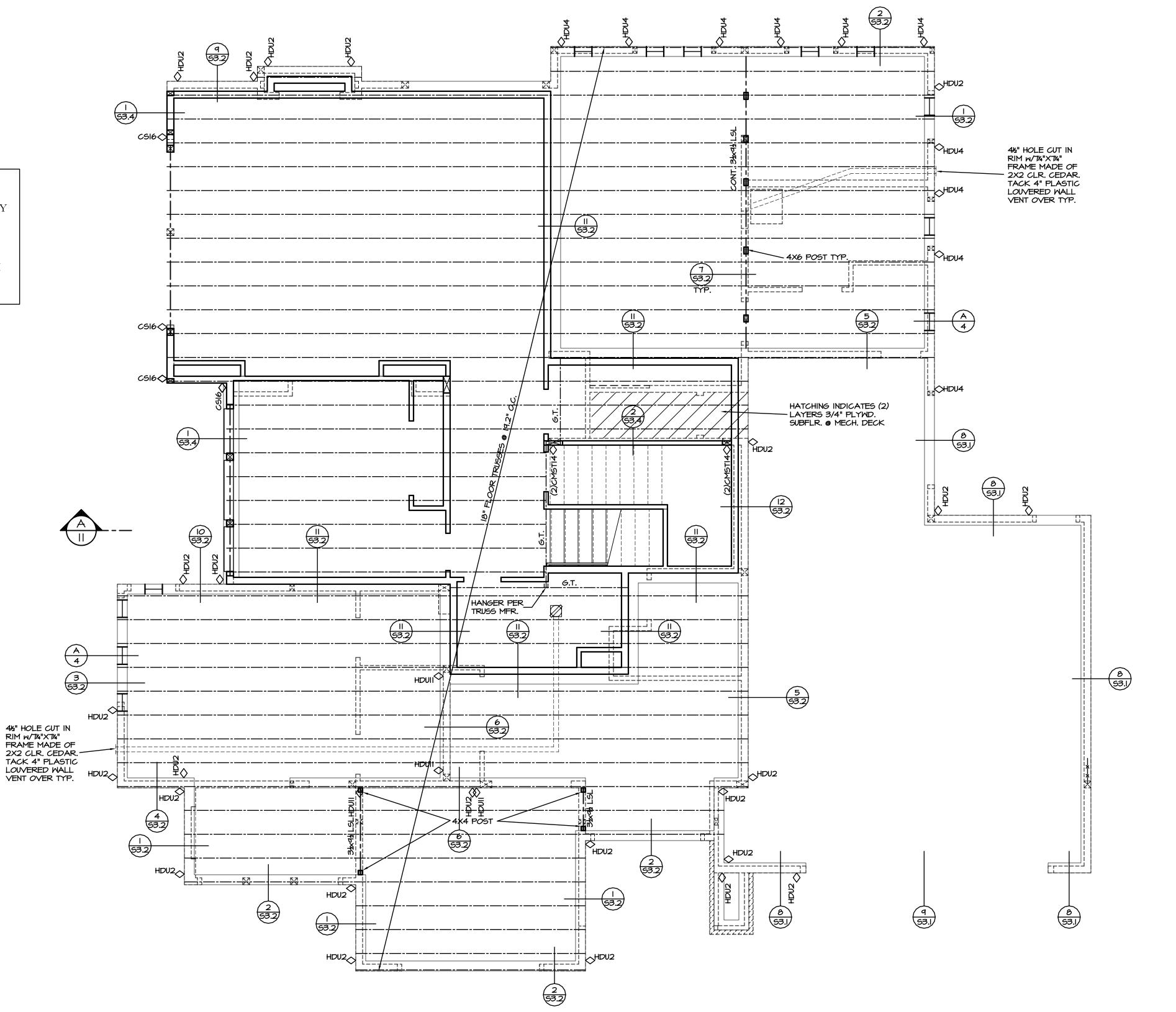


NOTES:

- FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE TO STRUCTURAL DRAWINGS.
 FLOOR TRUSS LAYOUT IS APPROXIMATE. FLOOR TRUSS SUPPLIER IS
- RESPONSIBLE FOR FINAL LAYOUT & CONFIGURATION. NOTIFY
- ENGINEER/BUILDER OF ANY REVISIONS TO PLAN

 3. FLOOR TRUSS LAYOUT IS APPROXIMATE. FLOOR TRUSS SUPPLIER RESPONSIBLE FOR FINAL LAYOUT AND CONFIGURATION. NOTIFY ENGINEER/BUILDER OF ANY
- 4. ALL MAIN FLOOR JOISTS TO BE 18" FLOOR TRUSSES @ 19.2" O.C. (U.N.O.)
 5. ALL RIM JOISTS TO BE 1-3/4" LVL MINIMUM (U.N.O.)

- 6. ALL JOIST TO LAP 6" MIN.
 7. PROVIDE DOUBLE JOISTS AROUND ALL FLOOR AND ROOF OPENINGS GREATER THAN 24" ON ONE SIDE (U.N.O.)
- 8. FLOOR SHEATHING TO BE 23/32" TONGUE AND GROOVE APA-RATED STURD-I-FLOOR OR EQUAL. SHEATHING TO BE GLUED AND NAILED TO FRAMING WITH O.131" DIA X 2-1/2" NAILS AT 6" O.C. AT PANEL EDGES AND AT 12" O.C. FIELD (U.N.O.). LAY SHEATHING WITH FACE GRAIN (LONG DIRECTION) PERPENDICULAR TO SUPPORTS AND STAGGER PANEL END JOINTS. ALLOW I/8" SPACE BETWEEN PANEL ENDS AND EDGES CROSS HATCHING INDICATES OVER-FRAMING
- 10. ALL HARDWARE TO BE SIMPSON OR EQUAL
- II. ALL DIMENSIONS TO FACE OF FRAMING
 12. VERIFY ALL +/- DIMENSIONS IN FIELD



MAIN FLR. FRAMING



PROVIDE FULL DEPTH VERTICAL GRAIN BLOCKING IN FLOOR CAVITY BELOW SUPPORTED

POSTS & MULTI-STUD COLUMNS TYP. ALL LOCATIONS

JOB NO.

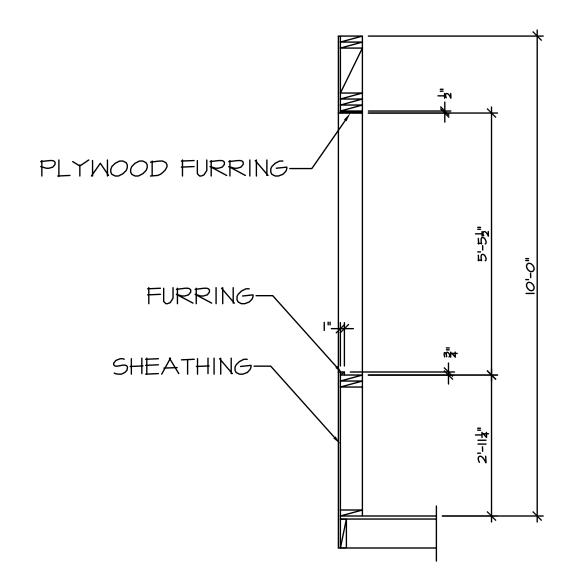
DRAWN BY

ENGINEER

S.S.F.

R302.11 Fireblocking. In combustible construction, fire-blocking shall be provided to cut off both vertical and horizontal concealed draft openings and to form an effective fire barrier between stories, and between a top story and the roof space.

- Fireblocking shall be provided in wood-framed construction in the following locations:
- 1. In concealed spaces of stud walls and partitions, including furned spaces and parallel rows of studs or staggered studs, as follows: 1.1. Vertically at the ceiling and floor levels.
- 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm). 2. At interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings. 3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
- 4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136
- 5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.



10' PL. KIT. WDW. FRMG. DET SCALE: 1/2" = 1'-0"

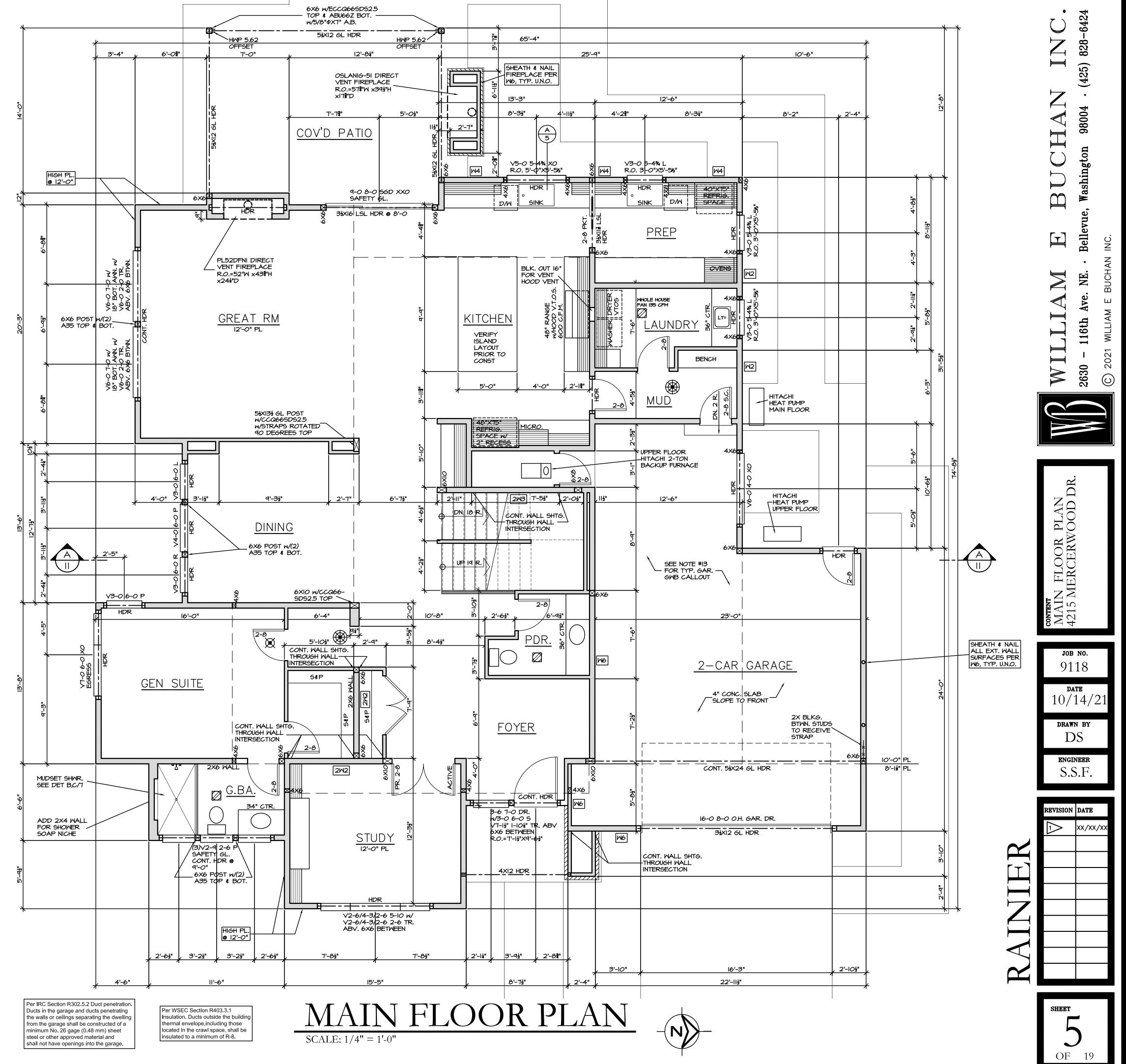
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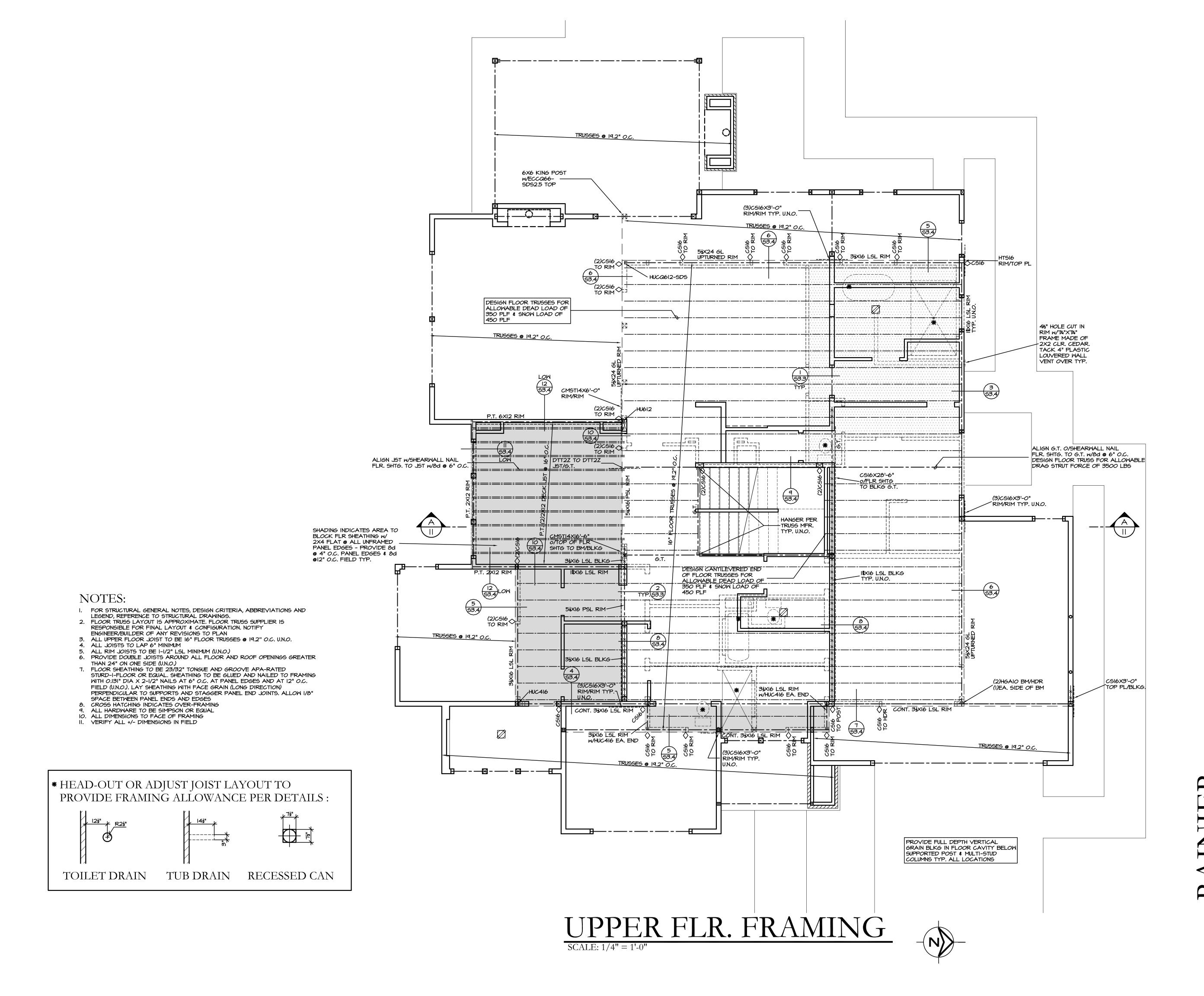
- FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE TO STRUCTURAL DRAWINGS.
- 2. ALL WOOD PLATES TO BE IO'-O" (U.N.O.) 3. ALL HEADERS (HDR) TO BE @ 8'-8" EXTERIOR AND 7'-2" INTERIOR
- (U.N.O.), POCKETS @ 7'-O\(\frac{1}{2}\)", BI-FOLDS @ 6'-IO". 4. ALL EXTERIOR WALLS ARE 2X6 @ 16" O.C., FOR LUMBER GRADE,
- REFERENCE STRUCTURAL GENERAL NOTES
- 5. ALL INTERIOR BEARING WALLS ARE 2X4 @ 16" O.C., FOR LUMBER GRADE, REFERENCE STRUCTURAL GENERAL NOTES
- 6. BALLOON FRAME ALL WALLS GREATER THAN ONE LEVEL 10' O" WITH (2) 2X AT 16" O.C., FOR LUMBER GRADE, REFERENCE STRUCTURAL
- GENERAL NOTES 7. HEADERS(HDRS)/BEAMS(BMS) SHOWN BUT NOT SPECIFIED SHALL BE 4XI2(U.N.O.).ALL HEADERS/BEAMS SHALL BE SUPPORTED BY (2)TRIMMER AND (1) KING STUD (U.N.O.). WHERE MORE THAN I TRIMMER IS REQUIRED, THE NUMBER OF TRIMMER STUDS SHALL BE NOTED THUS: (N). TRIMMER LOADS TO BE ADEQUATELY TRANSFERRED TO THE FOUNDATION. SEE 3/53.2 FOR TYP HDR. CONST. REQUIREMENTS.
- 8. PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES TO FURNACE AND WATER HEATER SHALL BE LOCATED A MINIMUM OF 18" ABOVE GARAGE FLOOR AND BE PROTECTED FROM VEHICULAR COLLISION
- 9. FIRE STOPS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS FROM VERTICAL TO HORIZONTAL SPACES, INCLUDING STAIRWELLS, TUBS AND SHOWERS, FIREPLACES, ETC. DRAFT-STOPPING IS REQ'D BETWEEN EACH STORY AND IN AREAS NOT EXCEEDING 1000
- IO. GMB NOTE: USE 1/2" TYPE X GMB UNDER STAIRS W FINISHED SPACE
- II. AREA SEPARATION NOTE: USE 2 LAYERS 3/4" PLYWOOD FOR TOP
- DECKING ON ALL EXPOSED SUB-FLOOR IN GARAGE 12. R 309.1, OPENINGS BETWEEN THE GARAGE AND THE RESIDENCE SHOULD BE EQUIPPED WITH SOLID WOOD DOORS OR SOLID/HONEYCOMB STEEL DOORS AT LEAST 1-3/8" THICK. A 20 MINUTE FIRE RATED DOOR IS
- ALSO ACCEPTABLE. REQ'D TO BE SELF CLOSING PER IRC 302.5.1 13. R309.2, SEPARATION REQUIRED. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE-X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
- 14. ALL HARDWARE TO BE SIMPSON OR EQUAL
- 15. ALL DIMENSIONS TO FACE OF FRAMING 16. VERIFY ALL +/- DIMENSIONS IN FIELD
- 17. ALL EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE. 18. PER TABLE R402.1.1 FOOTNOTE M, ALL EXT. WALL HDRS ARE REQ'D TO BE INSULATED WITH MIN. R-10 INSUL.

ELECTRICAL SYMBOLS

- 50 CFM EXHAUST FAN VENTED TO OUTSIDE (U.N.O.)
- SMOKE DETECTOR WIRED TO HOUSE CURRENT WITH BATTERY BACKUP







WILLIAM EBUCHAN INC. 3630 - 116th Ave. NE. · Bellevue, Washington 98004 · (425) 828-6424

CONTENT
UPPER FLR. FRAMING
1215 MERCERWOOD DR.

JOB NO.
9118

DATE
10/14/21

DRAWN BY
DS

DS

ENGINEER
S.S.F.

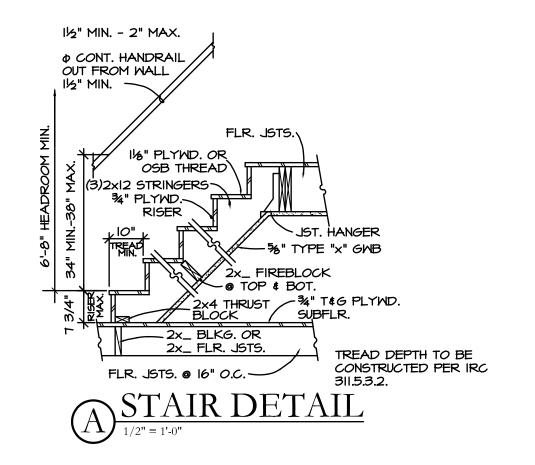
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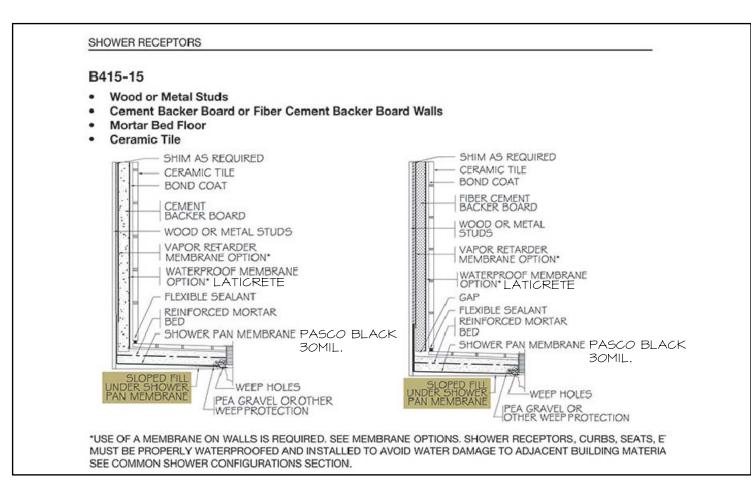
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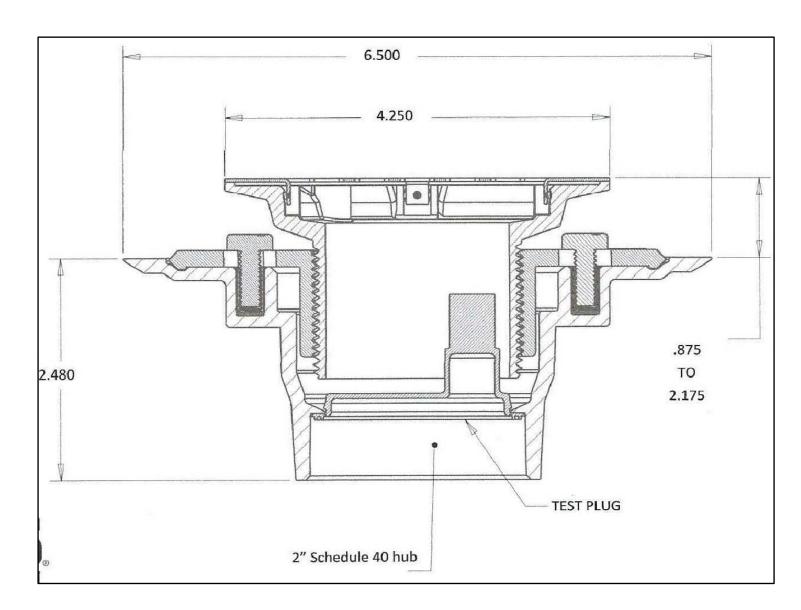
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SCALE: 1/4'' = 1'-0''

SMOKE DETECTOR WIRED TO HOUSE CURRENT WITH BATTERY BACKUP





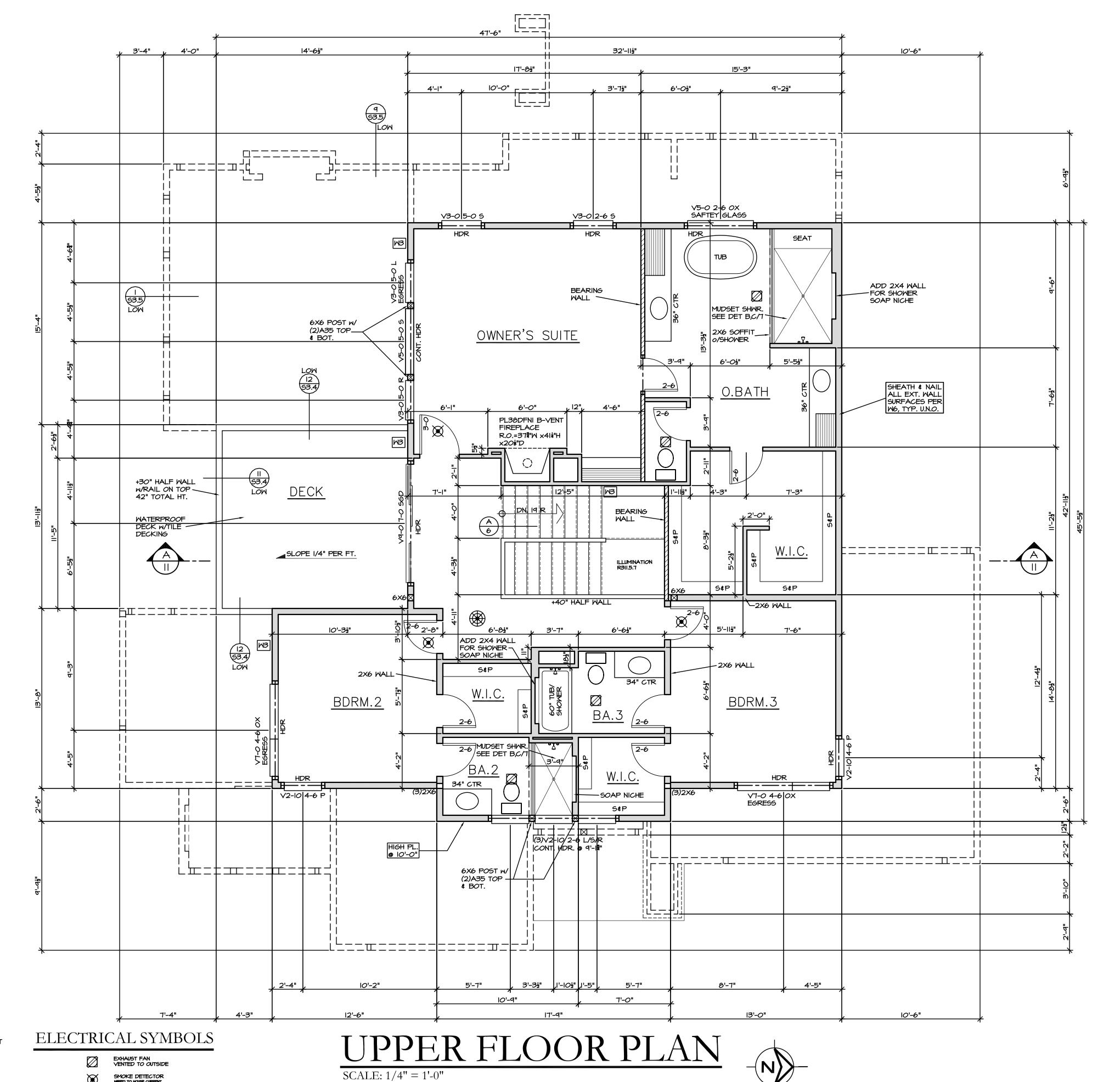


SHOWER DRAIN N.T.S.

NOTES:

- I. FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE TO STRUCTURAL DRAWINGS.
- 2. ALL WOOD PLATES TO BE 9'-14" (U.N.O.) 3. ALL HEADERS (HDR) TO BE 4XIO @ 7'-OF" EXTERIOR AND 7'-2F" INTERIOR (U.N.O.) BIFOLDS @ 6'-10", POCKETS @ 7'-0\\".
- 4. ALL EXTERIOR WALLS ARE 2X6 @ 16" O.C., FOR LUMBER GRADE, REFERENCE STRUCTURAL GENERAL NOTES
- 5. ALL INTERIOR BEARING WALLS ARE 2X4 @ 16" O.C., FOR LUMBER GRADE, REFERENCE STRUCTURAL GENERAL NOTES. 6. HEADERS (HDRS)/BEAMS (BMS) SHOWN BUT NOT SPECIFIED SHALL BE 4XIO (U.N.O.). ALL HEADERS/BEAMS SHOWN SHALL BE SUPPORTED BY (2) TRIMMER AND (1) KING STUD MINIMUM (U.N.O.). WHERE MORE THAN (2) TRIMMER IS REQUIRED, THE NUMBER OF TRIMMER STUDS SHALL BE NOTED THUS: (N). TRIMMER LOADS TO BE ADEQUATELY TRANSFERRED
- TO THE FOUNDATION. 7. FIRE STOPS SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS FROM VERTICAL TO HORIZONTAL SPACES, INCLUDING
- STAIRWELLS, TUBS AND SHOWERS, FIREPLACES, ETC.

 6. THE WATER RESISTANT VAPOR GWB BASE FOR TILE IN THE SHOWER ENCLOSURES SHOULD NOT BE USED OVER A VAPOR BARRIER OR ON THE CEILING
- 9. ALL DIMENSIONS TO FACE OF FRAMING 10. ALL HARDWARE TO BE SIMPSON OR EQUAL
- II. VERIFY ALL +/- DIMENSIONS IN FIELD.
- 12. ALL EXTERIOR WALLS SHALL BE W6 UNLESS NOTED OTHERWISE.



REVISION DATE

PLAN OOD DR.

OR RWC

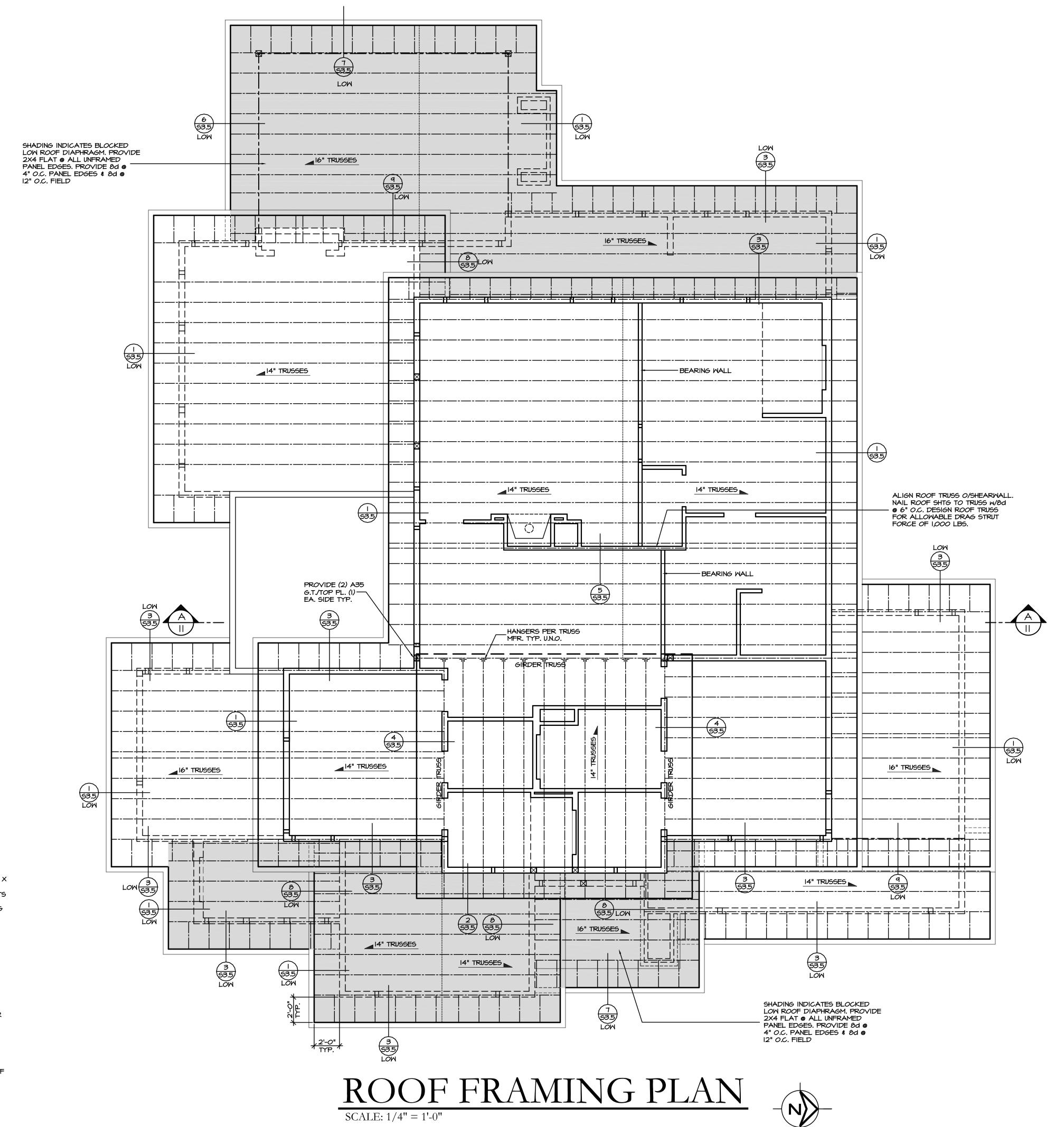
JOB NO.

DRAWN BY

ENGINEER

S.S.F.

SHEET



F FRAMIN MERCE

CONTENT ROOF 4215

JOB NO.

DRAWN BY DS

ENGINEER

S.S.F.

REVISION DATE

SHEET

xx/xx/x

NOTES:

- I. FOR STRUCTURAL GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS AND LEGEND, REFERENCE TO STRUCTURAL DRAWINGS.
- 2. ALL FLAT TRUSSES TO BE @ 19.2" O.C. (U.N.O.).
- 3. TRUSSES TO CARRY MANUFACTURERS STAMP.
- 4. TRUSSES TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS. 5. TRUSSES SHALL BE ACCOMPANIED BY DESIGN DRAWINGS FOR INSPECTOR'S
- 6. ROOF SHEATHING TO BE 7/16" APA RATED SHEATHING WITH A MINIMUM 32/16 SPAN RATING. SHEATHINNG TO BE NAILED TO ROOF FRAMING WITH 0.131" DIA X 2-1/2" NAILS @ 6" O.C. AT PANEL EDGES AND @ 12" O.C. FIELD (U.N.O.). LAY SHEATHING WITH FACE GRAIN (LONG DIRECTION) PERPINDICULAR TO SUPPORTS AND STAGGER PANEL END JOINTS. ALLOW 1/8" SPACE BETWEEN PANEL ENDS AND EDGES. PROVIDE PANEL SHEATHING CLIPS CENTERED BETWEEN FRAMING AT UNBLOCKED SHEATHING EDGES AS REQUIRED BY ROOFING WARRANTY. 7. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA:
- a. TRUSS LAYOUT SHOWN IS APPROXIMATE. TRUSS SUPPLIER IS RESPONSIBLE FOR FINAL TRUSS LAYOUT AND CONFIGURATION. NOTIFY ENGINEER OF REVISIONS TO PLAN.
- b. FOR STANDARD DEAD AND LIVE LOADS AND SUBMITTAL INFORMATION, REFERENCE TO THE STRUCTURAL GENERAL NOTES.
- c. ALL GIRDER TRUSSES SHALL BE SUPPORTED BY A MINIMUM OF (3) STUDS. TRUSS MANUFACTURER TO SUBMIT TO ENGINEER GIRDER TRUSS
- d. PROVIDE SIMPSON HI OR HURRICANE TIES AT ALL ROOF TRUSSES AND ROOF JOISTS, TYP. e. ALL MULTIPLE STUDS SUPPORTING GIRDER TRUSSES TO CONTINUE TO
- 8. TRUSS HANGERS SHALL BE SUPPLIED AND DESIGNED BY THE TRUSS SUPPLIER 9. CROSS HATCHING INDICATES OVERFRAMING.
- IO. ALL HARDWARE TO BE SIMPSON OR EQUAL.

 II. ALL DIMENSIONS TO FACE OF FRAMING.
- 12. VERIFY ALL +/- DIMENSIONS IN FIELD. 13. CONT. 5" METAL GUTTER 0/8" FASCIA BOARD. GUTTERS TO DRAIN THROUGH DOWNSPOUTS DIRECTLY TO STORM SYSTEM. PER IIOI.I UPC.
- 14. 80-MIL TPO MEMBRANE TURNED DOWN OVER ROOF EDGE & NAILED OFF W/FLASHING STRIP HEAT WELDED TO TPO COATED METAL DRIP EDGE & ROOF
- 15. SLOPE ROOF W/TAPERED POLYISOCYANURATE INSULATION MECHANICALLY FASTENED TO ROOF DECK @ MIN. 1/4" PER FOOT SLOPE.



— MANUFACTURED STONE INSTALLED PER MANUFACTURERS SPECIFICATIONS

SILL FLASHING/PAPER 61/2"

— TREATED I/2" PLYWOOD BEHIND MASONRY

— SURE CAVITY, INSTALL PER MANUFACTURES

SPECIFICATIONS

— CONC. FOOTING SEE FND. PLAN FOR SIZE

FAUX STONE

WAINSCOT DETAIL

SCALE: 1-1/2" = 1'-0"

- 2 LAYERS OF 60 MINUTE BUILDING PAPER NOTE: THIS PAPER TO LAP UNDER





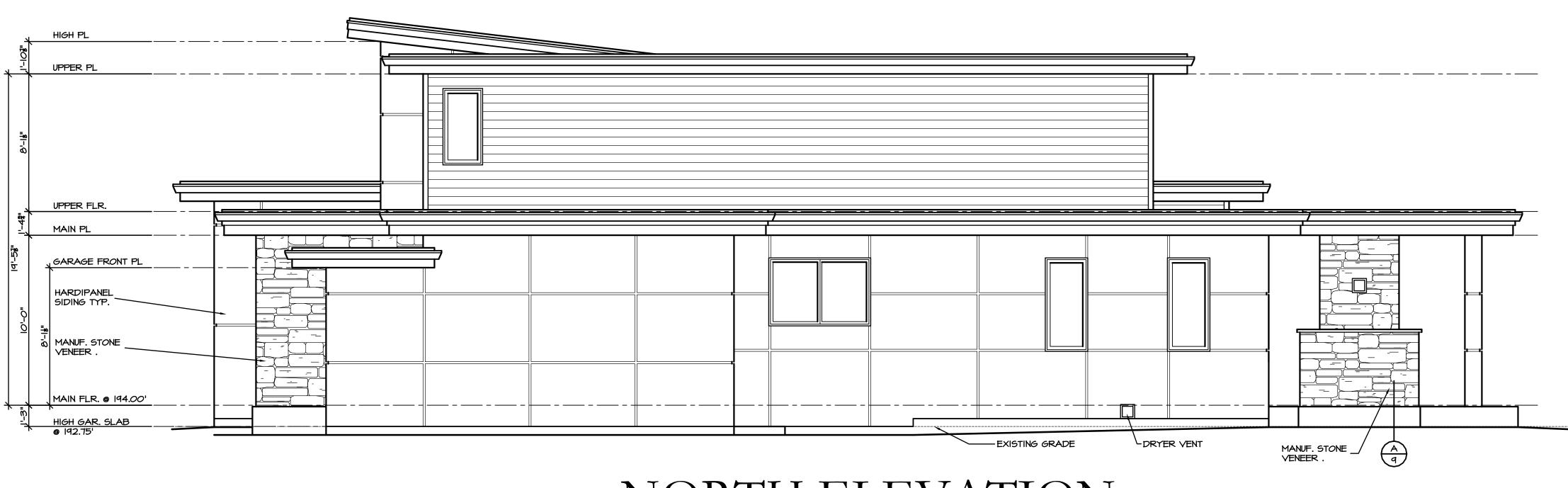
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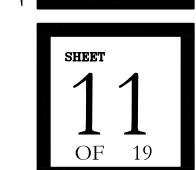
NORTH ELEVATION SCALE: 1/4" = 1'-0"

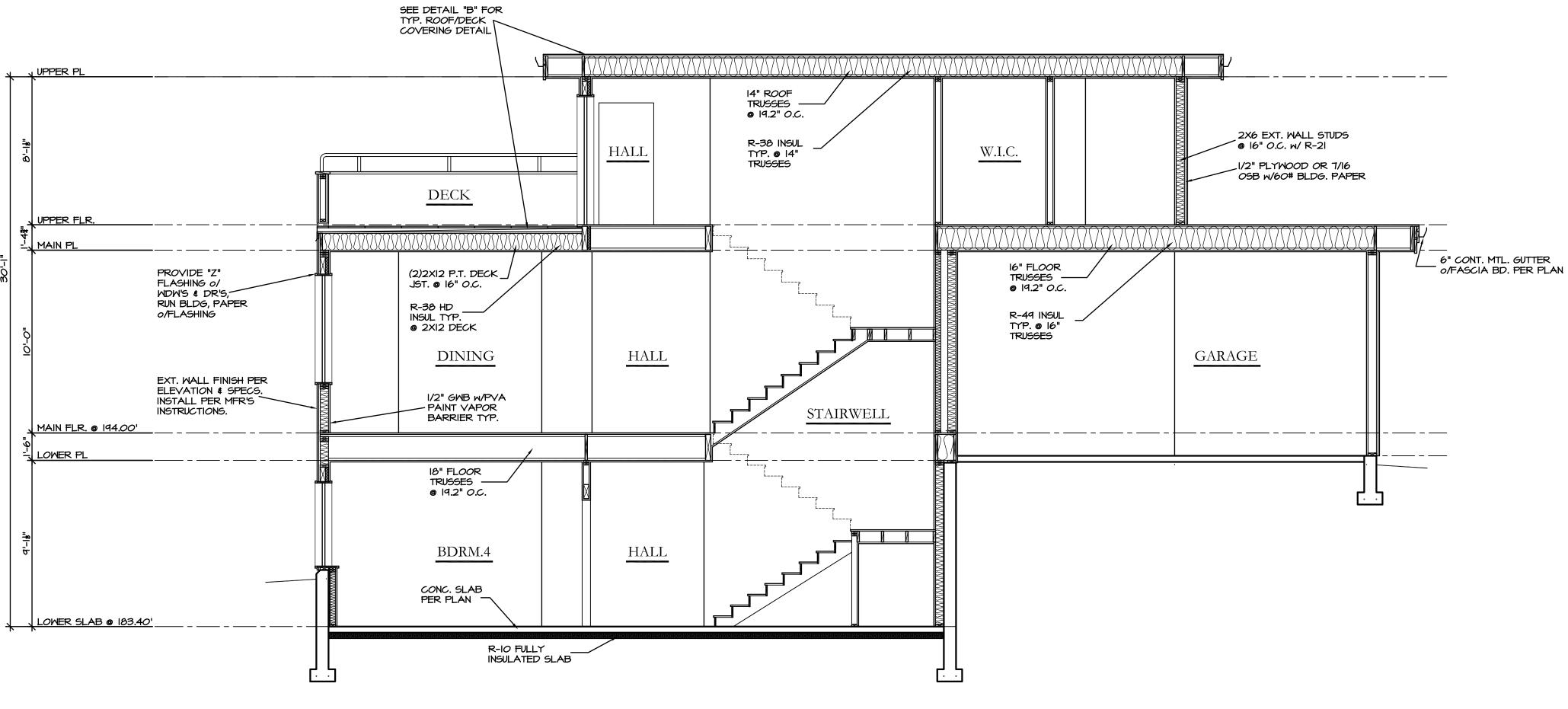


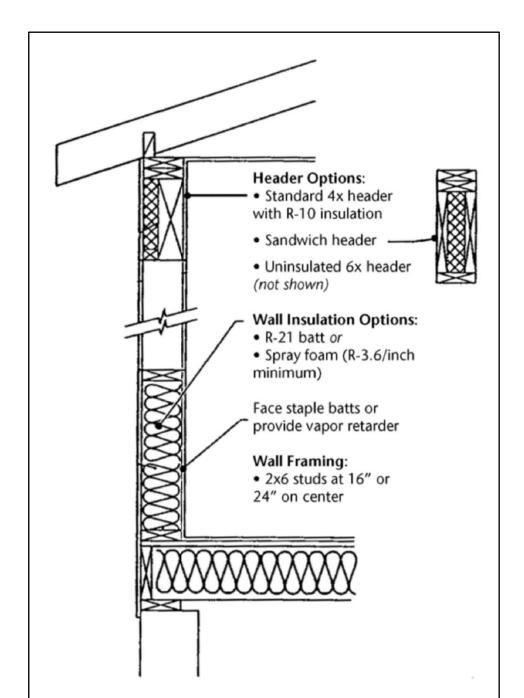
SOUTH ELEVATION SCALE: 1/4" = 1'-0"

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(A) 4X HDR w/R-10 INSUL.

BUILDING SECTION "A"

SCALE: 1/4'' = 1'-0''

ROOF CONSTRUCTION

80 MIL TPO MEMBRANE TAPERED POLY INSULATION @ 1/4" PER FOOT TO DRAIN 2-LAYERS 15# BUILDERS FELT 3/4" PLYWOOD SHEATHING 3/4" PLYWOOD SHEATHING
MANUFACTURED TRUSSES @ 19.2" O.C. (U.N.O.) SEE PLANS.
1/2" GYPSUM WALL BOARD
INSULATION PER ENERGY CODE (R-49/R-38 FLAT CEILING
CLASS I OR II VAPOR RETARDER IS REQUIRED ON THE WARM SIDE OF
ALL ROOF/CEILING ASSEMBLIES AND EXTERIOR WALLS. PVA PAINT
VAPOR BARRIER PROPOSED MUST HAVE A RATING OF I.O PERM OR LESS.

WALL CONSTRUCTION

SIDING AS PER EXTERIOR ELEVATIONS 60# BUILDING PAPER 1/2" PLYWOOD OR 7/16 OSB 2x6 EXTERIOR WALL STUDS @ 16" O.C. 2x4 INTERIOR WALL STUDS @ 16" O.C. INSULATION PER ENERGY CODE (R-21) I/2" GYPSUM WALL BOARD

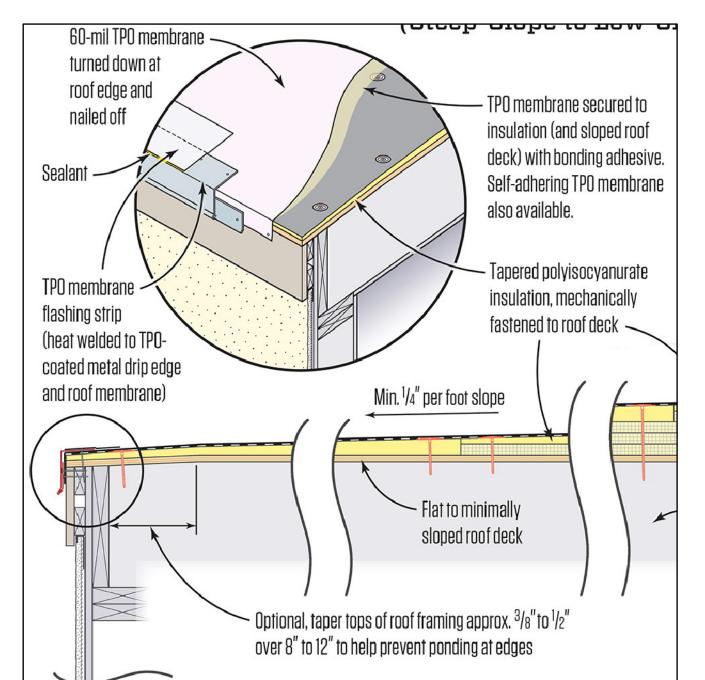
CLASS I OR II VAPOR RETARDER IS REQUIRED ON THE WARM SIDE OF ALL

ROOF/CEILING ASSEMBLIES AND EXTERIOR WALLS. PVA PAINT VAPOR BARRIER

PROPOSED MUST HAVE A RATING OF I.O PERM OR LESS.

FLOOR CONSTRUCTION

FINISHED FLOOR PER SPECIFICATIONS.
3/4" T&G PLYWOOD SUB FLOOR GLUED & NAILED FLOOR TRUSSES @ 19.2" O.C. (18" MAIN, 16" UPPER) (2)2XI2 P.T. DECK JOIST BEAMS, HEADERS, POSTS PER PLANS INSULATION PER ENERGY CODE (R-38, R-38HD) 4" CONC. SLAB ON GRADE FULLY INSULATED W/R-10 (BASEMENT) 4" CONC. SLAB ON BELOW GRADE FULLY INSULATED W/R-12 CI (BASEMENT)



(B) TPO FLAT ROOF/DECK DETAIL
SCALE: N.T.S.

R303.7 Interior Stairway Illumination

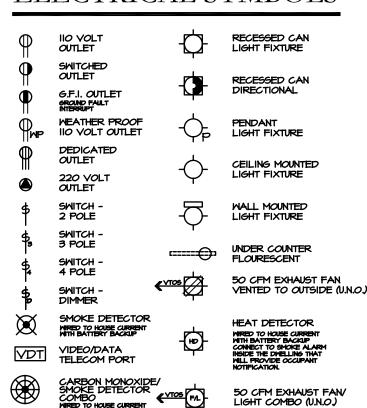
Interior stairways shall be provided with an artificial light source to illuminate the landings and treads. The light source shall be capable of illuminating treads and landings to levels of not less than I foot-candle (II lux) as measured at the center of treads and landings. There shall be a wall switch at each floor level to control the light source where the stairway has six or more risers.

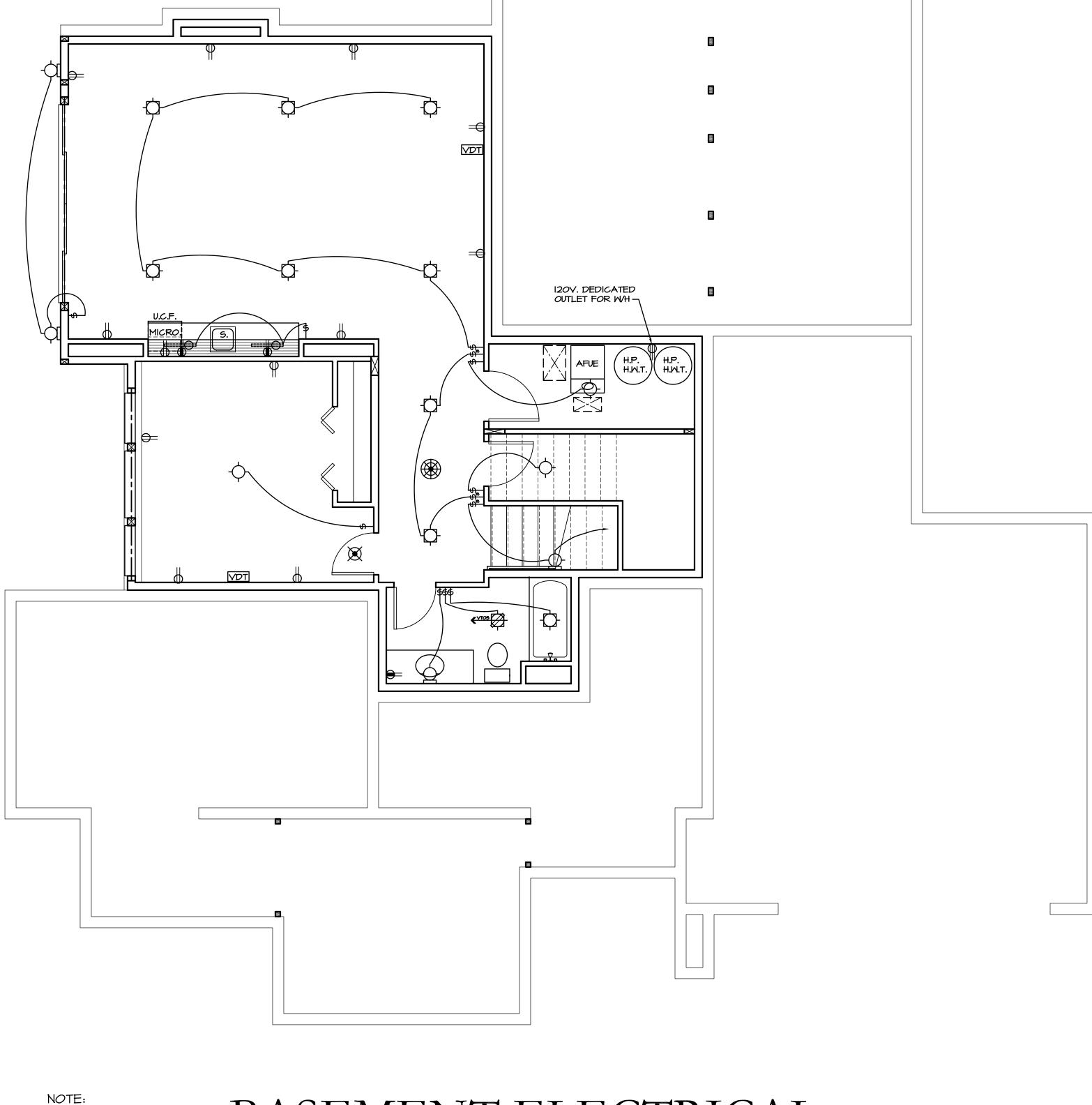
FAN SCHEDULE

Whole house ventilation system shall be shall be provided by using a central whole house exhaust fan in accordance with MI505.4.1.1. Whole house fan shall operate continuously and have a noise rating of 1.0 sones or less. Continuous ventilation shall be determined using table MI505.4.3(1), and then increased by a factor of 1.5 in accordance with table MI505.4.3(2).

LOCATION	C.F.M .
KITCHEN LAUNDRY RM POWDER RM MASTER BATH BATH #2 ADDITIONAL BATHS	100 C.F.M. 50 C.F.M. 50 C.F.M. 50 C.F.M. 50 C.F.M.

ELECTRICAL SYMBOLS





NOTE: 75% OF ALL LIGHT FIXTURES MUST BE HIGH EFFICIENCY.

BASEMENT ELECTRICAL

SCALE: 1/4" = 1'-0"

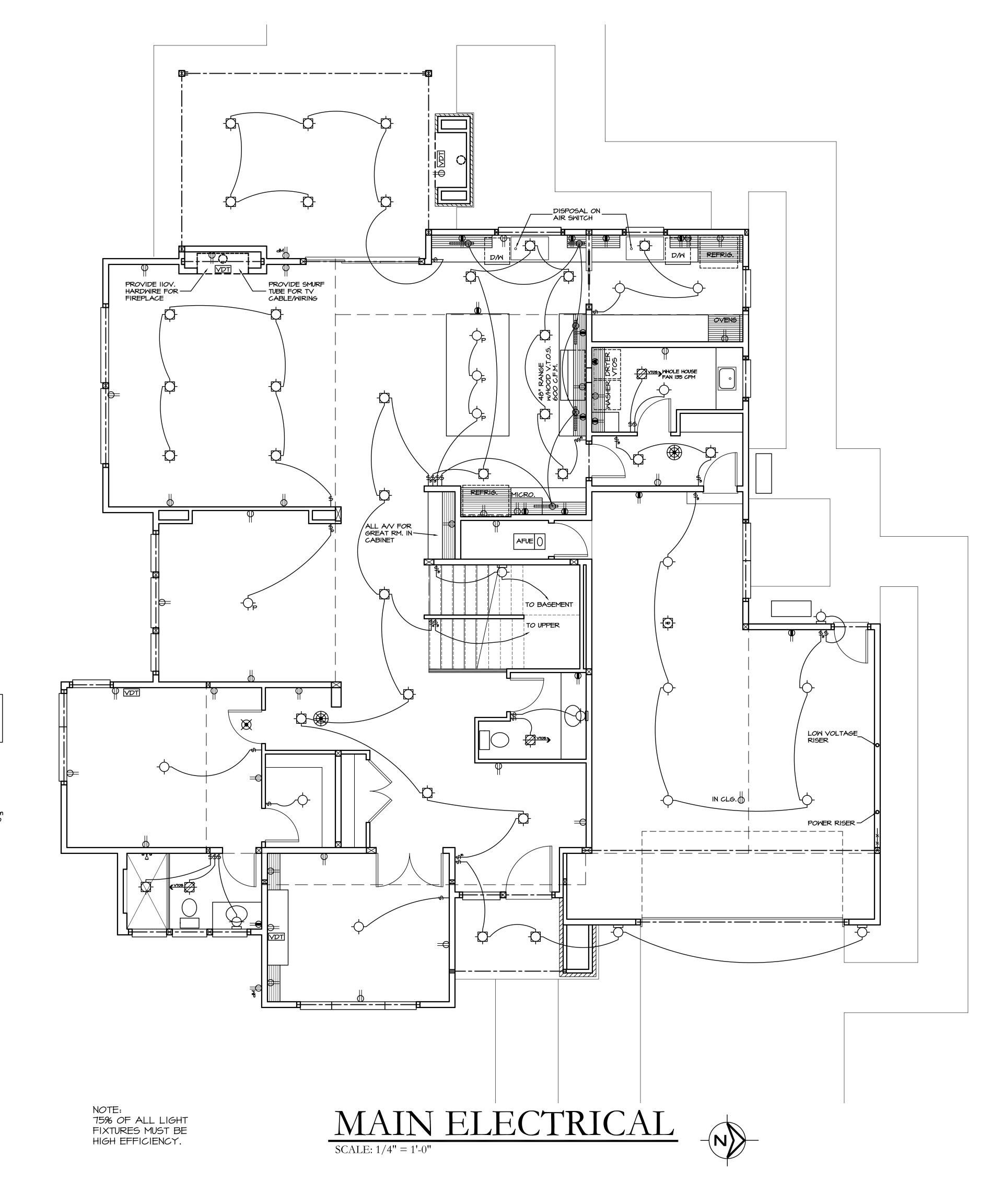


CONTENT
BASEMENT
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R303.7 Interior Stairway Illumination

Interior stairways shall be provided with an artificial light source to illuminate the landings and treads. The light source shall be capable of illuminating treads and landings to levels of not less than I foot-candle (II lux) as measured at the center of treads and landings. There shall be a wall switch at each floor level to control the light source where the stairway has six or more risers.

FAN SCHEDULE

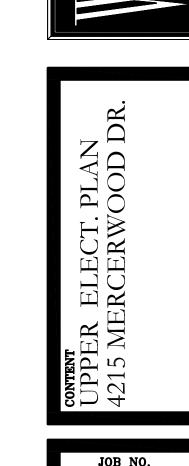
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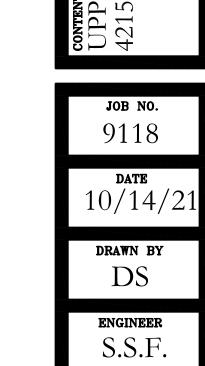
LAUNDRY RM 50 C.F.I	LOCATION	C.F.M .
BATH #2 50 C.F.I	LAUNDRY RM POWDER RM MASTER BATH BATH #2	100 C.F.I 50 C.F.M 50 C.F.M 50 C.F.M 50 C.F.M

ELECTRICAL SYMBOLS

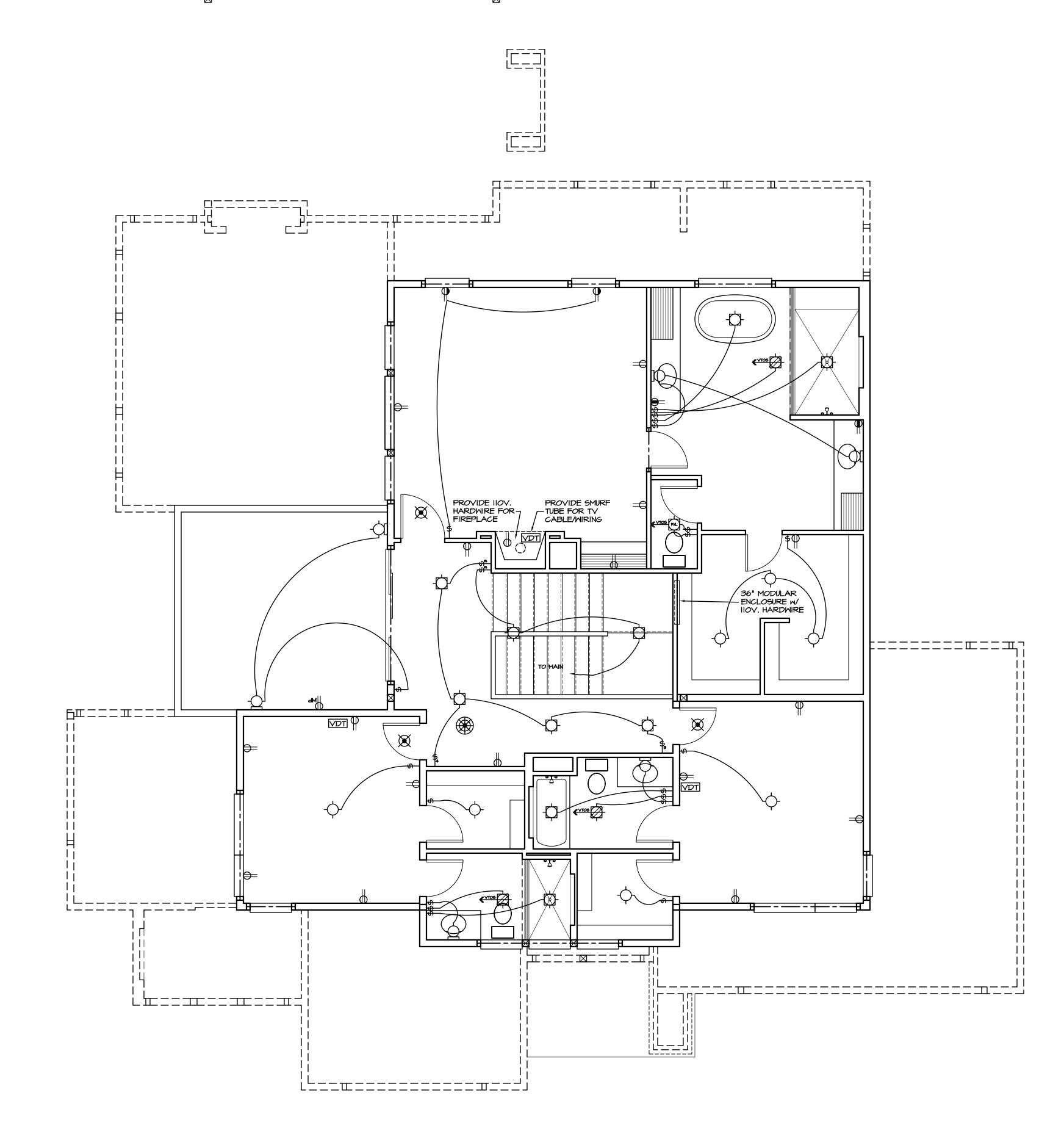
	LCTIG.	11110.	
φ	IIO VOLT OUTLET		RECESSED CAN LIGHT FIXTURE
•	SMITCHED OUTLET G.F.I. OUTLET	-	RECESSED CAN DIRECTIONAL
T Pap	FROID FAULT INTERRIPT WEATHER PROOF IIO VOLT OUTLET	- \ _{\bar{p}}	PENDANT LIGHT FIXTURE
₽	DEDICATED OUTLET 220 VOLT OUTLET	\rightarrow	CEILING MOUNTED LIGHT FIXTURE
\$	SMITCH - 2 POLE	-5-	WALL MOUNTED LIGHT FIXTURE
\$ \$	SMITCH - 3 POLE SMITCH - 4 POLE		UNDER COUNTER FLOURESCENT
\$	SMITCH - DIMMER	EVTOS COTV	50 CFM EXHAUST FAN VENTED TO OUTSIDE (U.N.
\boxtimes	SMOKE DETECTOR MIRED TO HOUSE CURRENT MITH BATTERY BACKUP		HEAT DETECTOR HIRED TO HOUSE CURRENT WITH BATTERY BACKUP
VDT	VIDEO/DATA TELECOM PORT	٢٠٠	CONNECT TO SMOKE ALARM INSIDE THE DWELLING THAT MILL PROVIDE COCUPANT NOTIFICATION.







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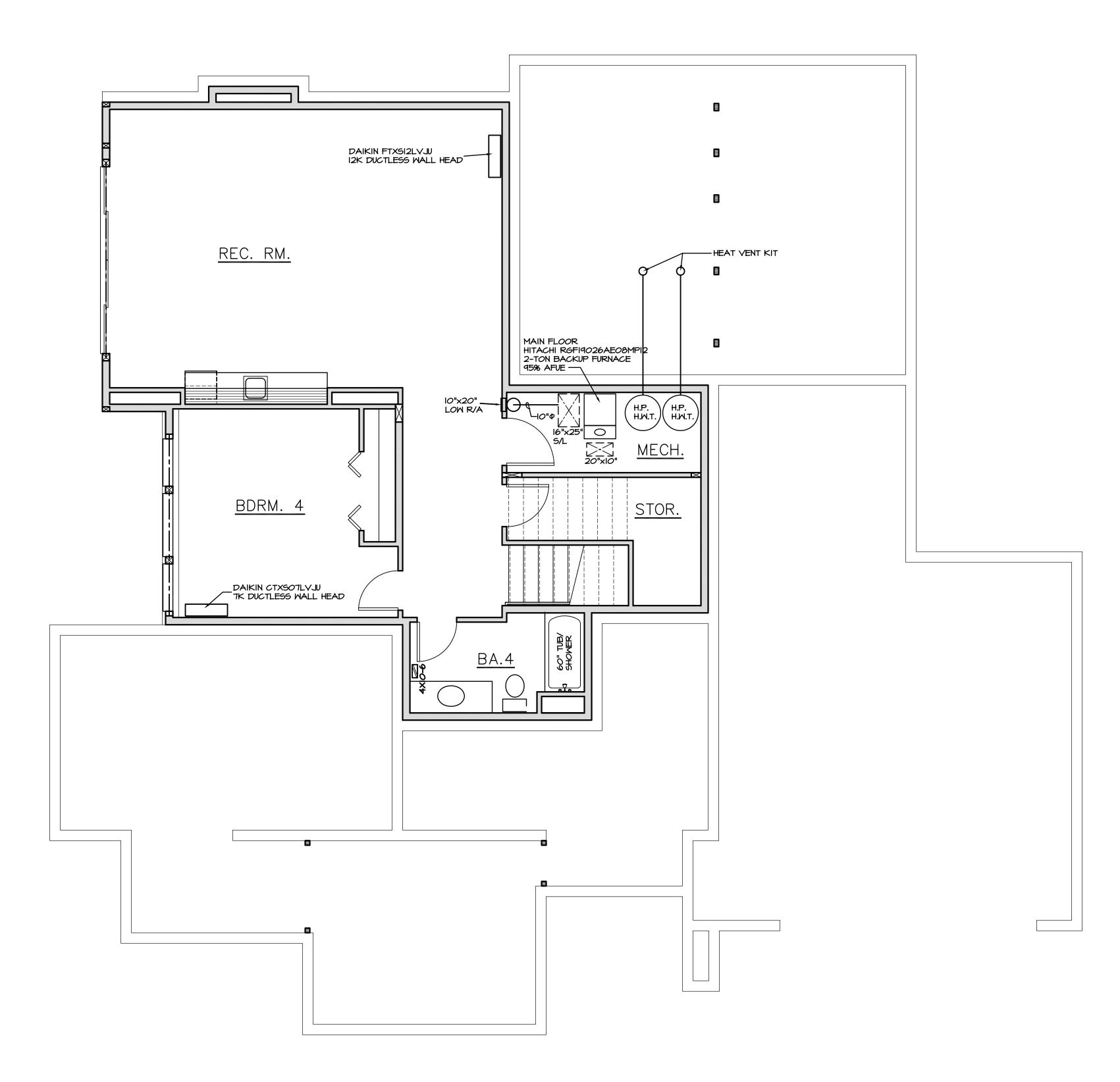
ELECTRICAL SYMBOLS

MEATHER PROOF DEDICATED OUTLET UNDER COUNTER FLOURESCENT

75% OF ALL LIGHT FIXTURES MUST BE HIGH EFFICIENCY.

UPPER ELECTRICAL

SCALE: 1/4" = 1'-0"



HEATING SYMBOLS

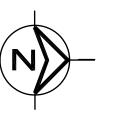
✓ 4"X REGISTER

24"X REGISTER

NOTE: REGISTERS TO BE PLACED 6" FROM EXT. WALLS, & 3" FROM INT. WALLS.

BASEMENT MECH. PLAN

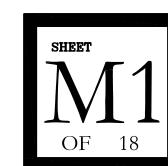
SCALE: 1/4" = 1'-0"



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CONTENT
BSMT FLOOR MECH
4215 MERCERWOOD DR





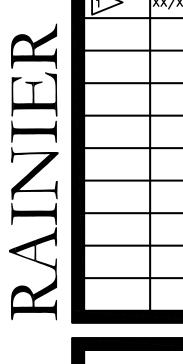
HEATING SYMBOLS

24"X REGISTER

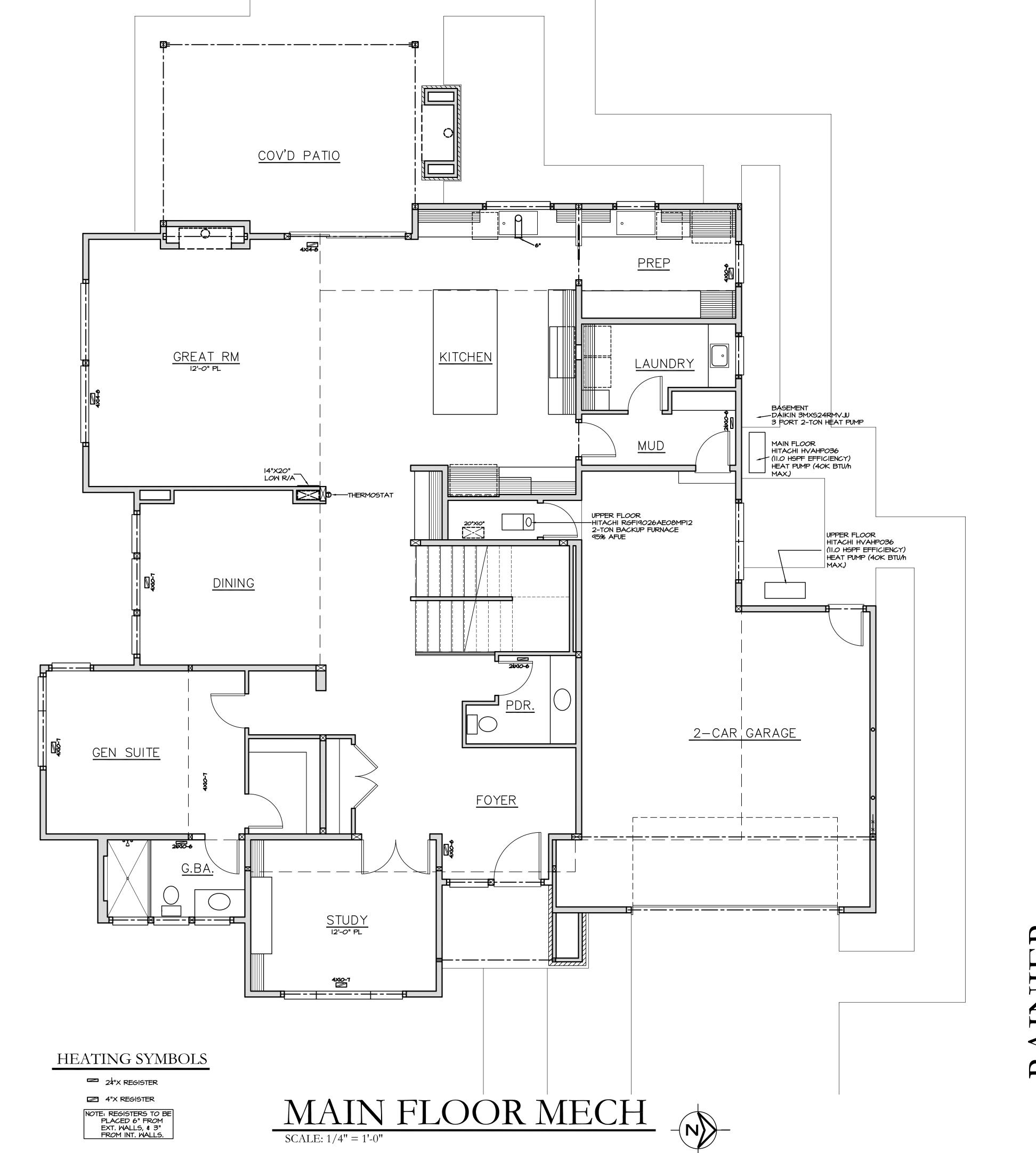
✓ 4"X REGISTER NOTE: REGISTERS TO BE PLACED 6" FROM EXT. WALLS, & 3" FROM INT. WALLS. MAIN FLR. FRMG MECH



10/5/21S.S.F.







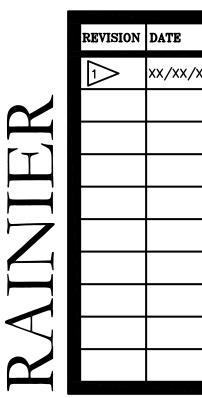


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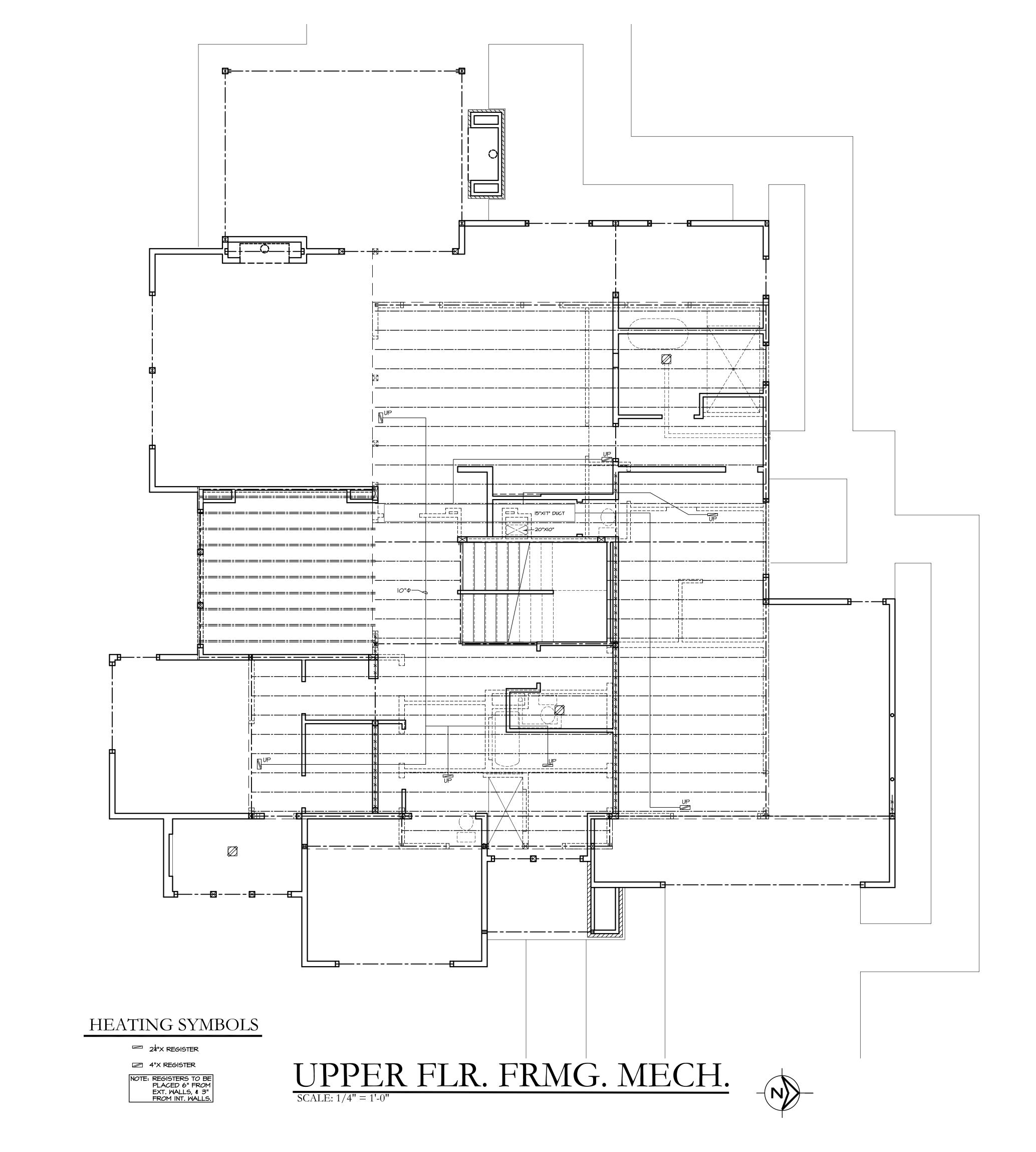
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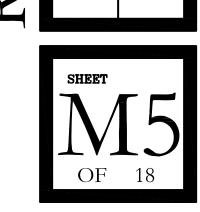
OWNER'S SUITE O.BATH <u>W.I.C.</u> BDRM.2 BDRM.3 `____=**____** HEATING SYMBOLS ☐ 24"X REGISTER NOTE: REGISTERS TO BE PLACED 6" FROM EXT. WALLS, & 3" FROM INT. WALLS. UPPER FLOOR MECH.

HEAT LAYOUT IS SHOWN TO ASSIST WITH FRAMING LAYOUT ONLY. THE FINAL DESIGN FOR HEATING OF THE HOME WILL BE DETERMINED BY THE HEAT CONTRACTORS.

OPPER FLOC 1215 MERCEF

10/5/21 DRAWN BY **ENGINEER**

S.S.F. REVISION DATE



General Structural Notes

CRITERIA 1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE 10. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT

DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2018) EDITION).

2. DESIGN LOADING CRITERIA:

F	IDENTIAL - ONE AND TWO-FAMILY DWELLINGS OOR LIVE LOAD	ŝF
	DF LIVE LOAD	3F
	CELLANEOUS LOADS CKS	ΞD
L	LECTION CRITERIA /E LOAD DEFLECTION	30 10
El	IRONMENTAL LOADS	

SNOW Ce=1.0, Is=1.0, Ct=1.1, Cs=1.0, Pg=25 PSF, Pf=20 PSF WIND GCpi=0.18, 98 MPH, RISK CATEGORY II, EXPOSURE "C" EARTHQUAKE . . . ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS, Vs = 25.7 KIPS SITE CLASS=D, Ss=141, Sds=112, S1=49, SD1=59, Cs=0.173

SDC D (DEFAULT), Ie=1.0, R=6.5

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

- . STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.
- PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION"
- CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.
- 9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

QUALITY ASSURANCE

SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

EXPANSION BOLTS AND THREADED EXPANSION INSERTS PER MANUFACTURER EPOXY GROUTED INSTALLATIONS PER MANUFACTURER

PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS. CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

- 11. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705. 12 OF THE INTERNATIONAL BUILDING CODE.
- A. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUING. NAILING. BOLTING. ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLDOWNS.

GEOTECHNICAL

12. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH OR COMPACTED STRUCTURAL FILL AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ALLOWABLE SOIL PRESSURE			. 2000 PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED)			35 PCF
ALLOWABLE PASSIVE EARTH PRESSURE (FS OF 1.5 INCLUDED).			. 300 PCF
COEFFICIENT OF FRICTION (FS OF 1.5 INCLUDED)			
SEISMIC SURCHARGE PRESSURE (UNIFORM LOAD)			8H PSF

SOILS REPORT REFERENCE: TERRA ASSOCIATES, INC., DATED JUNE 9, 2021, PROJECT NO. T-85228

CONCRETE

- 13. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500
- 14. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260. C494. AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-14, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.
- OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS 15. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE DEFORMED WIRE CONFORMING TO ASTM A615, GRADE 60, FY = 60,000 PSI.
 - 16. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-14. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-14, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
 - NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.
 - 17. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
 - FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED
 - FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . 1-1/2"
 - 18. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:
 - 8" WALLS #4 @ 12 HORIZ. #4 @ 18 VERTICAL 1 CURTAIN
 - 19. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND
 - 20. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM)

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS ANCHORAGE

- 21. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS 29. PREFABRICATED CONNECTOR PLATE WOOD ROOF TRUSSES SHALL BE DESIGNED BY THE 35. WOOD FASTENERS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS. ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- 22. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-XP" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2508. MINIMUM BASE MATERIAL TEMPERATURE IS 50 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 23. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "AT-XP" AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH IAMPO REPORT NO. ER-0281. MINIMUM BASE MATERIAL TEMPERATURE IS 14 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS. HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT. AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.
- 24. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

25. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2017. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLA	TES & MISC. FRAMING:	DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

- 26. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv =265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI. CAMBER ALL SIMPLE SPAN GLULAM BEAMS, WITH SPANS OVER 30', TO 3,500' RADIUS, UNLESS SHOWN OTHERWISE ON THE PLANS.
- ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR 27. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS) Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSILVL (2. 0E-2600FB WS) Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI LSL (1.55E) Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE 28. PREFABRICATED OPEN WEB WOOD TRUSSES (OR COMBINATION WOOD AND METAL) SHALL BE DESIGNED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS.

MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

TOP CHORD LIVE LOAD	25	PSF
TOP CHORD DEAD LOAD	10	PSF
BOTTOM CHORD DEAD LOAD	5	PSF
TOTAL LOAD	40	PSF
WIND UPLIFT (TOP CHORD)	5	PSF
BOTTOM CHORD LIVE LOAD	10	PSF
(BOTTOM CHORD LIVE LOAD DOES NOT A	ACT	
CONCURRENTLY WITH THE ROOF LIVE LO		

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (GANGNAIL OR EQUAL). SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP. VALLEY. AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS. PROVIDE FOR ALL TEMPORARY AND PERMANENT TRUSS BRACING AND BRIDGING.

30.PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, 36.NOTCHES AND HOLES IN WOOD FRAMING: EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

- 31. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.
- 32. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.
- 33. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE

)	WOOD TREATMENT HAS NO AMMONIA CARRIER CONTAINS AMMONIA CARRIER	CONDITION INTERIOR DRY INTERIOR DRY	PROTECTION G90 GALVANIZED G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653
N	CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
-	CONTAINS AMMONIA CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
N	AZCA	ANY	TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

34. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMET
6d	2"	0. 113"
3d	2-1/2"	0. 131"
l0d	3"	0. 148"
l2d	3-1/4"	0. 148"
l6d B0X	3-1/2"	0. 135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL B DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WFB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE
- 37. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NATIING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.
- ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.
- ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER. OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES)AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.
- C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER. MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.



2124 Third Avenue - Suite 100 - Seattle, WA 98121 934 Broadway - Tacoma, WA 98402 p: 253.284.9470

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DRAWN:	SRK/ABH
DESIGN:	JDT
CHECKED:	JDT
APPROVED:	GFJ

REVISIONS:				

JURISDICTIONAL APPROVAL STAMP

Rainier 9118

William E. Buchan Homes 2630 116th Ave NE Suite 100 Bellevue, WA 98004

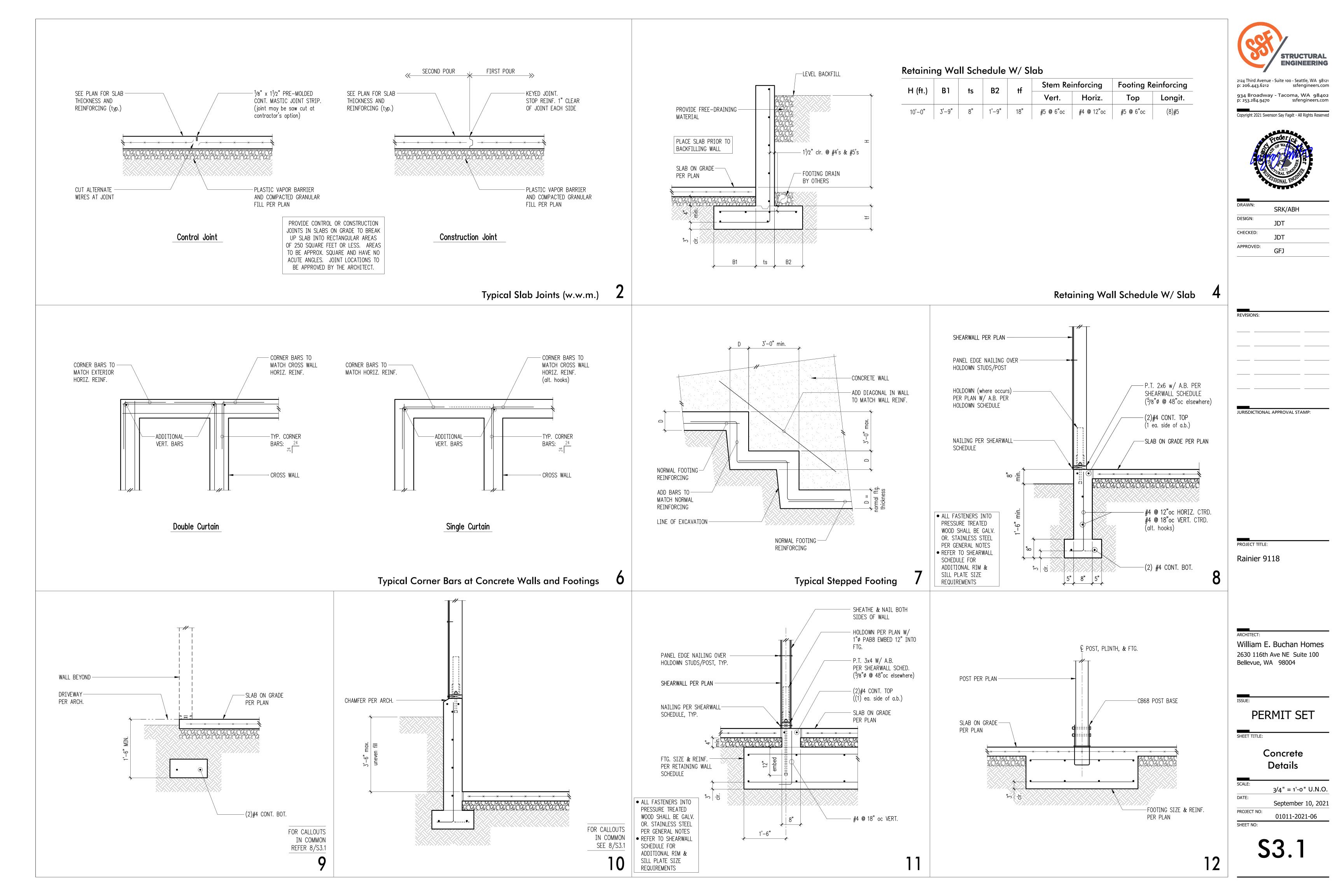
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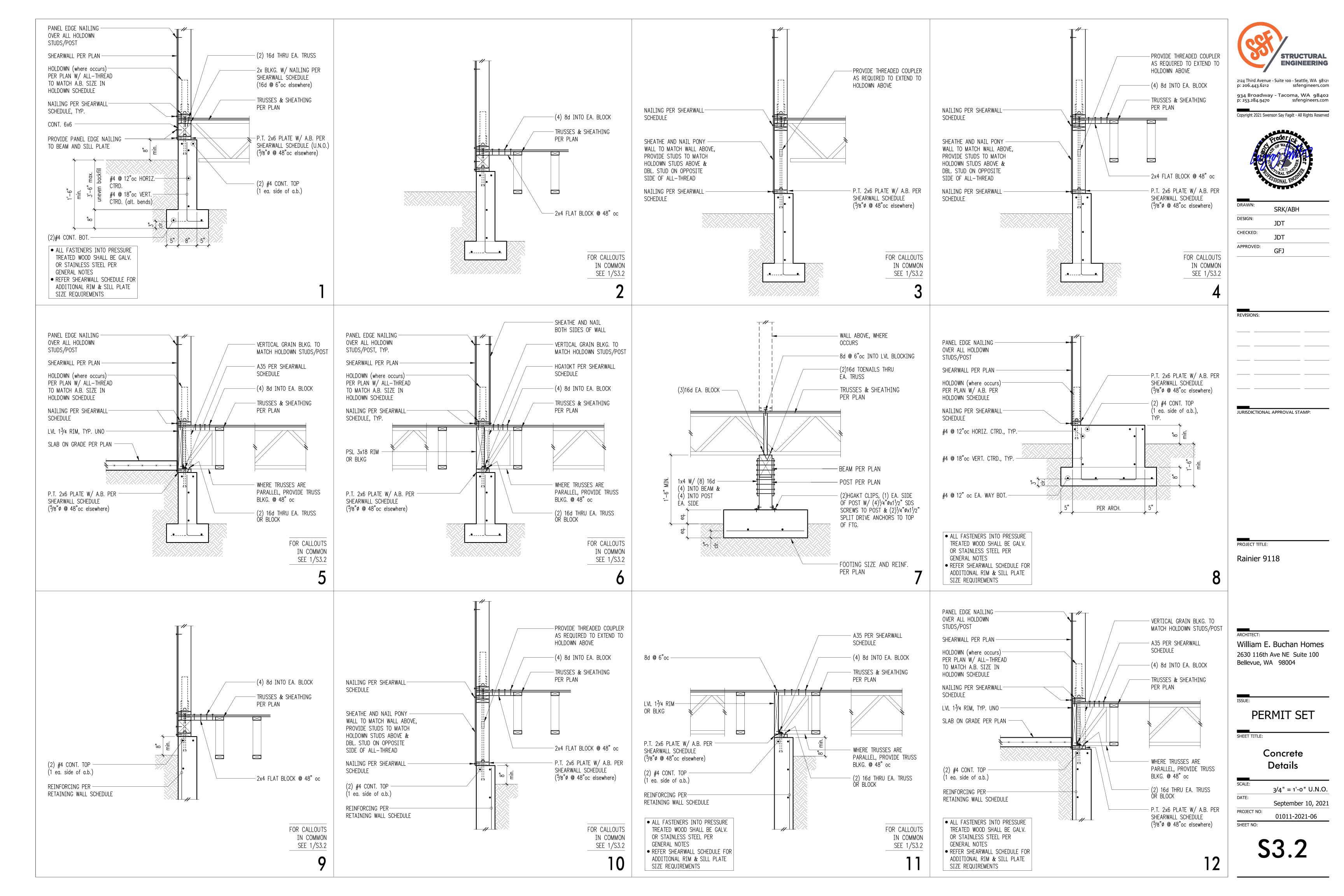
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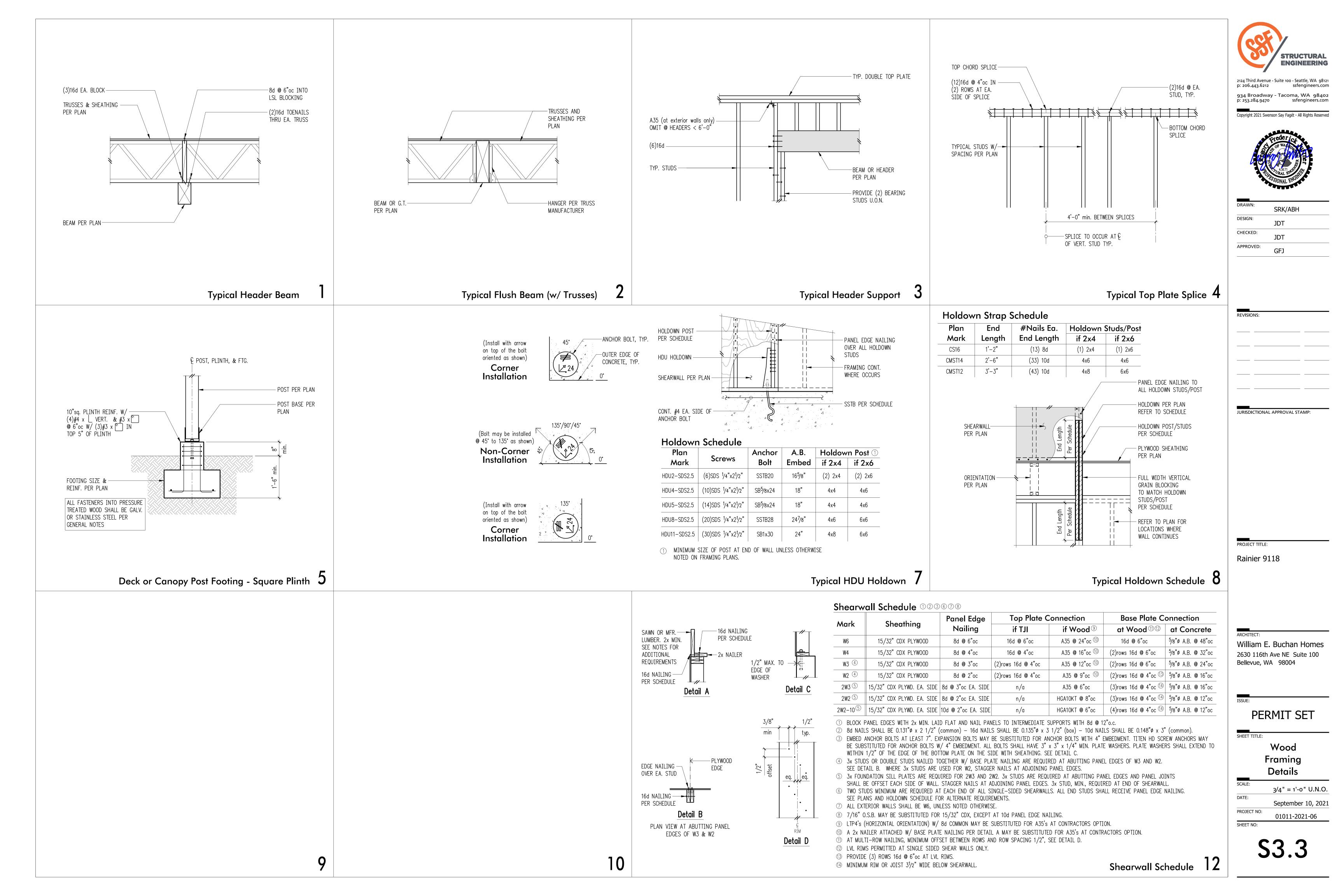
Structural Notes

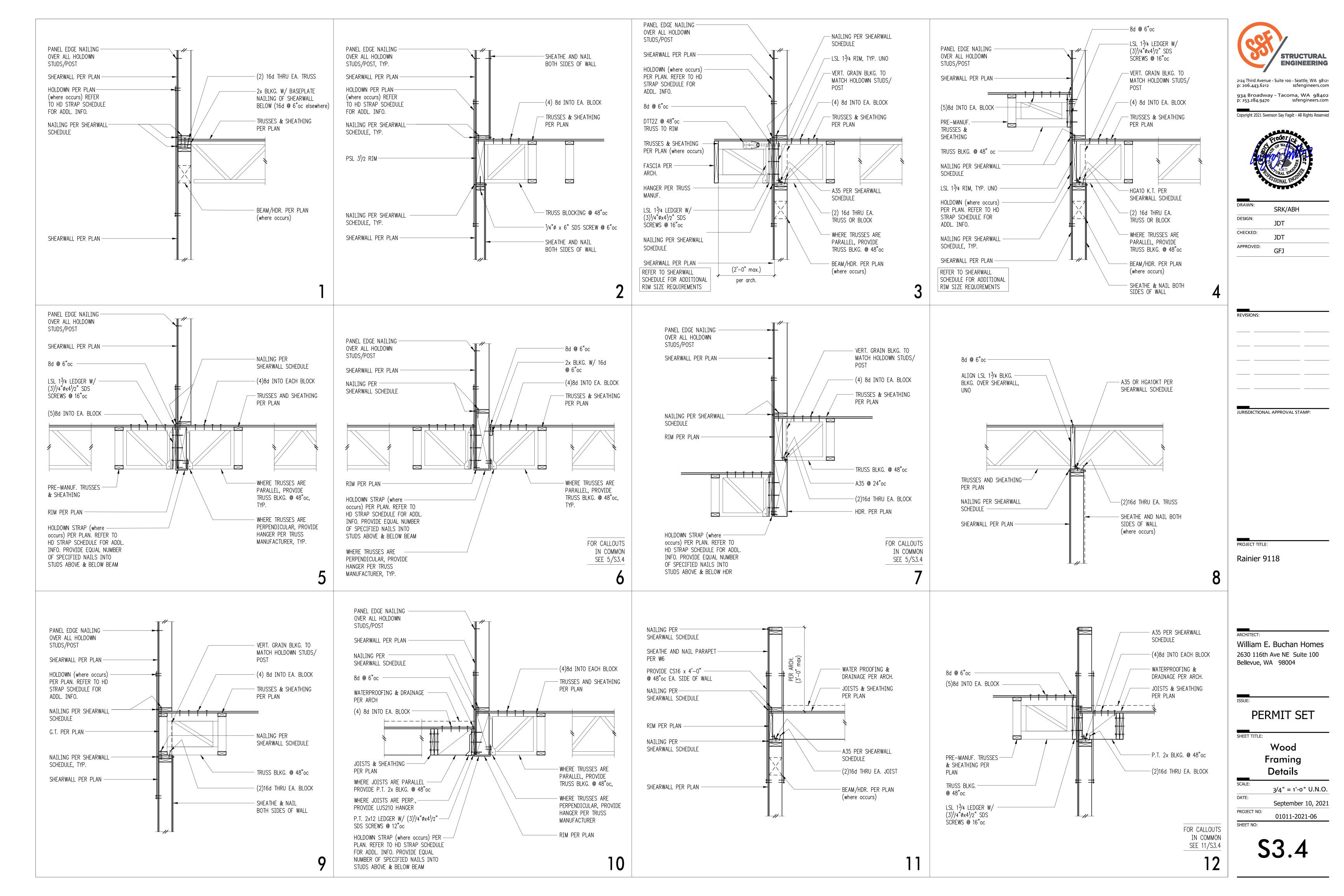
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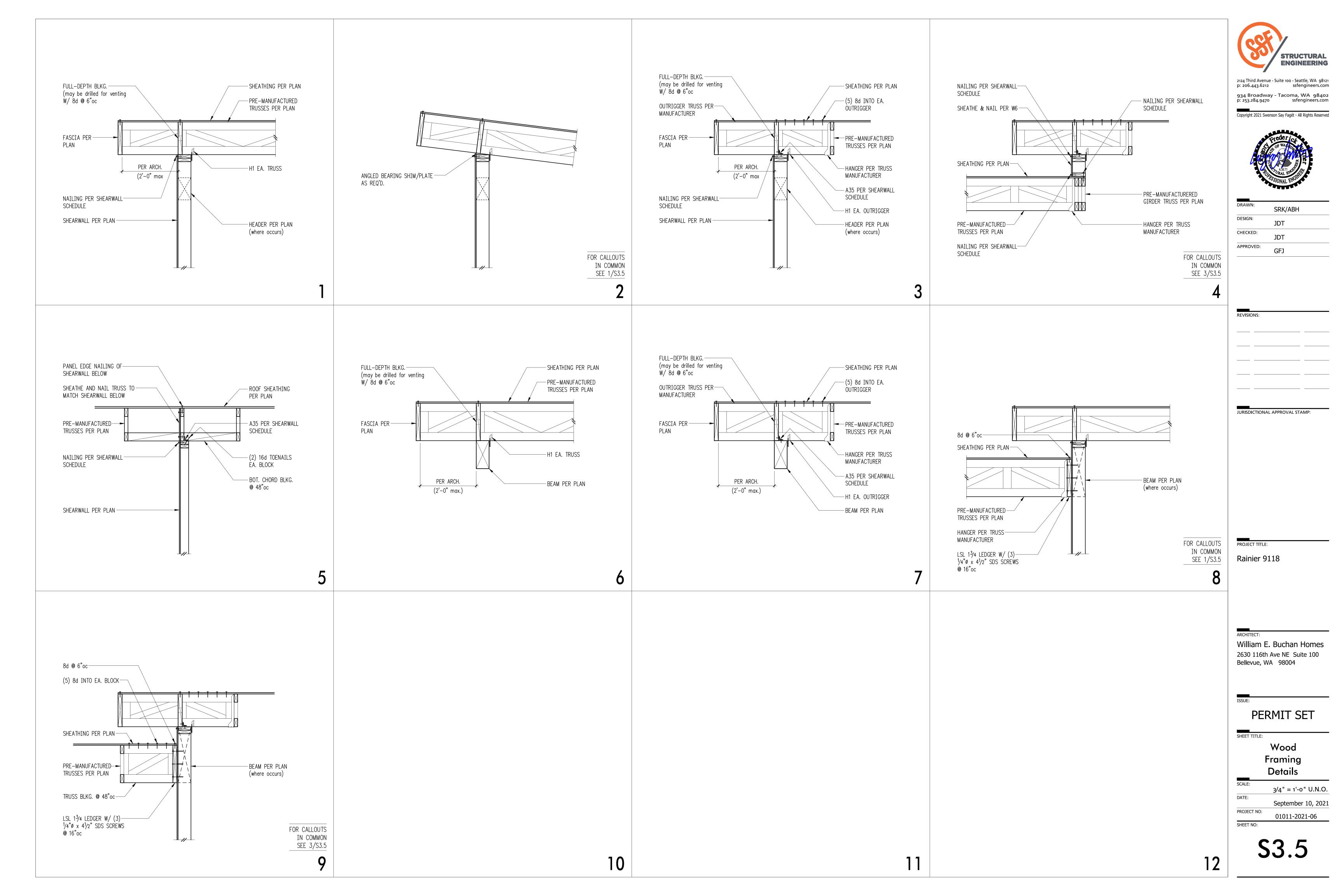
September 10, 2021 PROJECT NO: 01011-2021-06

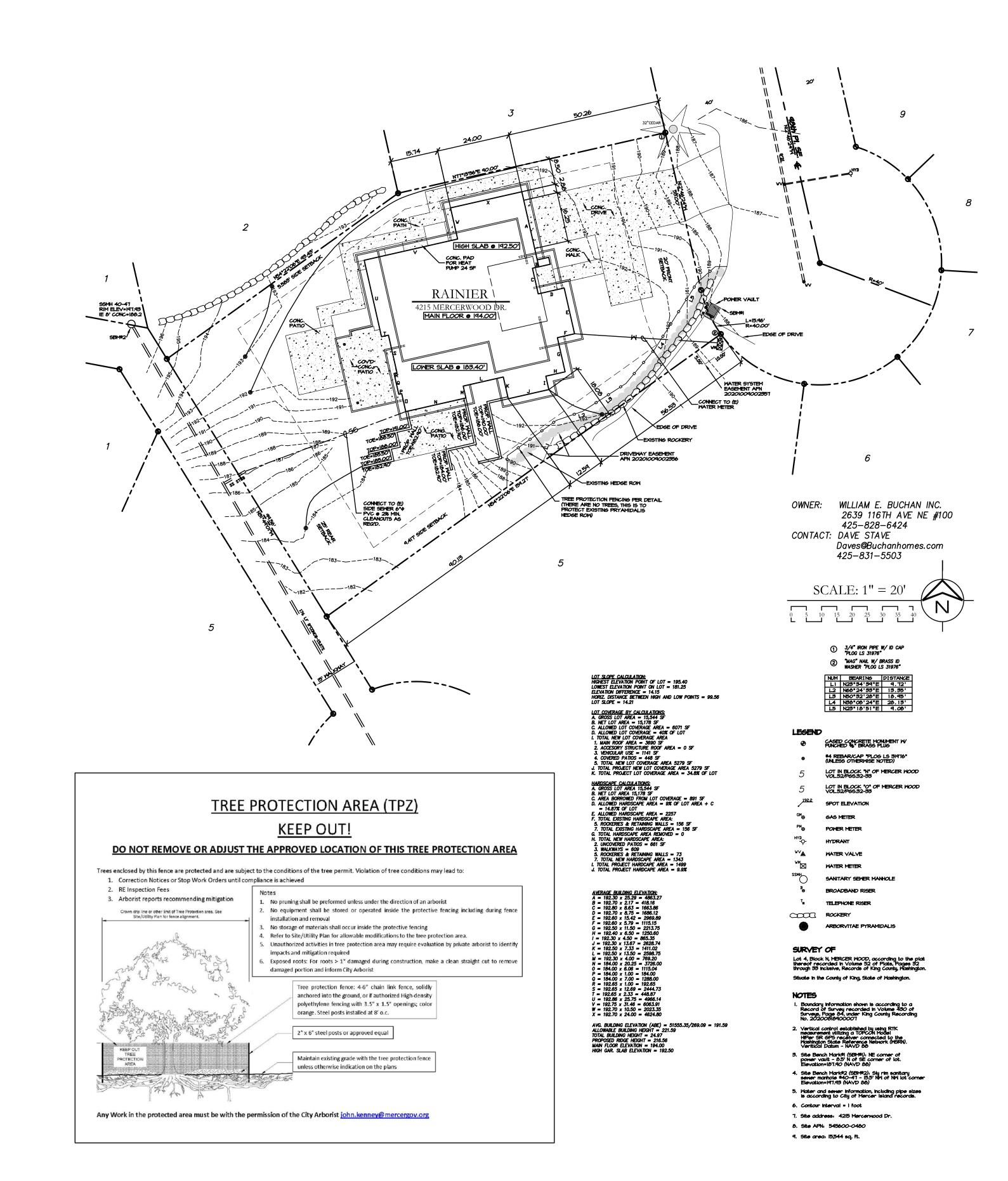












REVISION DATE |X> |XX/XX/X

9118

DRAWN BY DS

ENGINEER

VERTICAL DATUM

BENCHMARK

CITY OF MERCER ISLAND BENCHMARK NO. 2173

BRASS NAIL W/ PUNCH IN 3"X3" CONC @ INTX. 86TH AVE SE & SE 44TH ST

SITE BENCH MARK#1 (SBM#1): NE CORNER OF POWER VAULT — 8.5'N OF SE CORNER OF LOT. ELEVATION=187.90 (NAVD 88)

SITE BENCH MARK#2 (SBM#2): SLY RIM SANITARY SEWER MANHOLE #40-47 - 15.5' NW OF NW LOT CORNER ELEVATION=197.93 (NAVD 88)

HORIZONTAL DATUM & BASIS OF BEARING

PER THE PLAT OF MERCERWOOD ACCORDING TO THE PLAT THEROF RECORDED IN VOLUME 52 OF PLATS, PAGE 32, RECORDS OF KING COUNTY

ACCEPTED THE BEARING OF S 12°46'24" E FOR 150TH PLACE BASED ON FOUND MONUMENTS IN CASE PER RECORD OF SURVEY, RECORDING NO

LEGAL DESCRIPTION

LOT 4. BLOCK N. MERCER WOOD. ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 52 OF PLATS, PAGES 32

SURVEY NOTES

- BOUNDARY INFORMATION SHOWN IS ACCORDING TO A RECORD OF SURVEY RECORDED IN VOLUME 430 OF SURVEYS, PAGE 84, UNDER KING COUNTY
- 2. VERTICAL CONTROL ESTABLISHED BY USING RTK MEASUREMENT UTILIZING A TOPCON MODEL HIPER SR GPS RECEIVER CONNECTED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN). VERITICAL DATUM — NAVD 88
- 3. SITE BENCH MARK#1 (SBM#1): NE CORNER OF POWER VAULT 8.5 N OF SE CORNER OF LOT. ELEVATION=187.90 (NAVD 88)
- 4. SITE BENCH MARK#2 (SBM#2): SLY RIM SANITARY SEWER MANHOLE #40-47 15.5' NW OF NW LOT CORNER ELEVATION=197.93 (NAVD 88)
- 5. WATER AND SEWER INFORMATION, INCLUDING PIPE SIZES IS ACCORDING TO CITY OF MERCER ISLAND RECORDS.
- 6. CONTOUR INTERVAL = 1 FOOT
- 7. SITE ADDRESS: 4215 MERCERWOOD DR.
- 8. SITE APN: 545600-0480
- 9. SITE AREA: 15,544 SQ. FT.

SITE DATA

HIGHEST ELEVATION OF LOT: LOWEST ELEVATION OF LOT: LOT SLOPE: 14.5% TOTAL SITE AREA: 15,544 SF

ALLOWED LOT COVERAGE: PROPOSED LOT COVERAGE * PROPOSED HARDSCAPE

PROJECT IMPERVIOUS AREA: 6,500 SF (41.8%) * LOT COVERAGE INCLUDES THE COMBINATION OF BUILDINGS, INCLUDING EAVES AND ROOF OVERHANGS, AND VEHICULAR DRIVING SURFACES AS DEFINED PER MIMC 19.16.010

OWNER / ARCHITECT

WLLIAM E. BUCHAN INC 2630 116 AVE NE #100 BELLEVUE, WA 98Ö04 (425) 831-5503 CONTACT: DAVID STAVE

ENGINEER

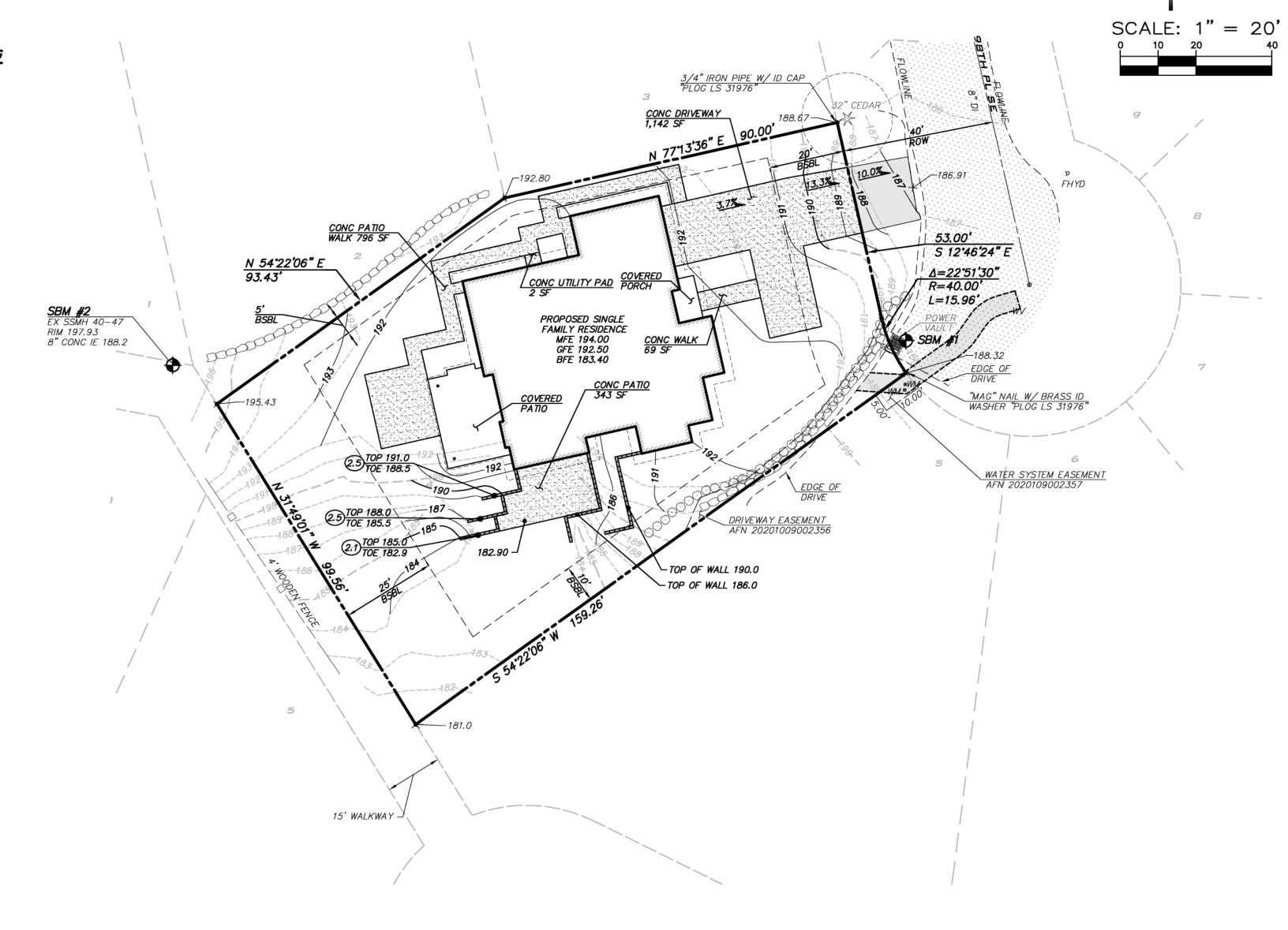
THE BLUELINE GROUP 25 CENTRAL WAY, SUITE 400 KIRKLAND, WA 98033 (425) 250-7224 CONTACT: TODD A. OBERG, PE

GEOTECH ENGINEER

TERRA ASSOCIATES, INC 12220 113TH AVE NE, SUITE 130 KIRKLAND, WA 98034 (425) 821-7777

CONTACT: CAROLYN S. DECKER, PE

4215 MERCERWOOD DR MERCER ISLAND SITE PLAN

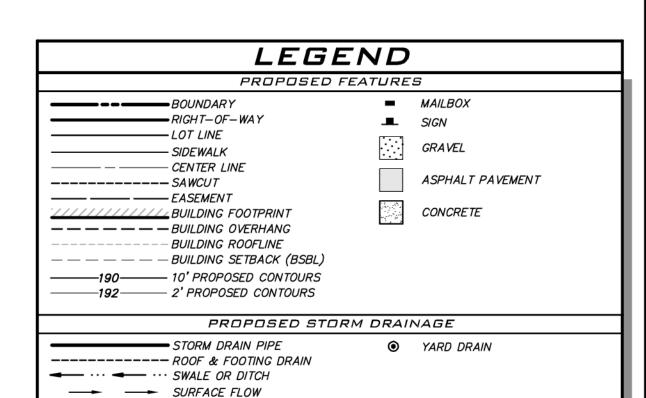


SHEET INDEX

- 1 CV-01 COVER SHEET
- 2 TP-01 TESC, DRAINAGE & TREE RETENTION PLAN
- 3 TP-02 TESC NOTES & DETAILS
- 4 SP-01 SITE PLAN
- 5 DT-01 DETAILS



VICINITY MAP



EXISTING FEATURES

ADJACENT PLAT/PARCEL LINE ADJACENT RIGHT-OF-WAY	☐ GAS METER
——————————————————————————————————————	(C) GAS VALVE
——— EASEMENT	□ MAIL BOX
— — — — — — SURFACE FEATURES	⊥ SIGN
/_/_/_/_/_BUILDING FOOTPRINT	
— ——190— —— 10' CONTOURS	EXISTING CONIFEROUS TREE
192 2' CONTOURS	
— — — SD— <i>Storm drain pipe</i>	
— — — SS— SEWER MAIN	(()) EXISTING DECIDUOUS TREE
— — — W — WATER MAIN — — — OHP— AERIAL POWER LINE	DRIP LINE
————G— GAS MAIN	CONIFEROUS TREE
— — — — X— WRE FENCE	TO BE SAVED
— — — — — BOARD FENCE	
RETAINING WALL	DECIDUOUS TREE
COOCOOO ROCKERY	TO BE SAVED
☐ CATCH BASIN, TYPE I	
CATCH BASIN, TYPE II	A
	EXISTING CONIFEROUS TREE TO BE REMOVED
SEWER MANHOLE	
	EXISTING DECIDUOUS TREE
Q FIRE HYDRANT	TO BE REMOVED
⊞ WATER METER	
⋈ GATE VALVE	ASPHALT
-O- POWER POLE	- covere
← GUY ANCHOR	CONCRETE
STREET LIGHT	GRAVEL
P POWER VAULT	
₽ POWER METER	
TESC FEATL	JRES
FILTER FENCE	S RIPRAP PAD

EXISTING UTILITY NOTE

LIMITS OF CLEARING

CONSTRUCTION FENCE

---- INTERCEPTOR SWALE

CLEARED AREA

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

ROCK CHECK DAM

INTERIM CATCH BASIN
PROTECTION (INSERT)

✓ PIPE FLOW



BLUELINE

25 CENTRAL WAY, SUITE 400.

KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052

WWW.THEBLUELINEGROUP.COM

PROJECT MANAGER:

PROJECT ENGINEER:

TODD A. OBERG, PE

YANNICK METS, PE

DESIGNER:

LEE M. TOMKINS

ISSUE DATE:

10/25/2021

AS NOTED

10/25/21

20-410 SHEET NAME: CV-01

BUILDING CALCULATIONS

SEE ARCHITECTURAL SITE PLAN FOR TREE RETENTION, BUILDING HEIGHTS AND FAR CALCULATIONS.

B. FLAG OR FENCE CLEARING LIMITS.

C. POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.

D. INSTALL CATCH BASIN PROTECTION IF REQUIRED.

BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.

E. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S). F. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).

G. CONSTRUCT SEDIMENT PONDS AND TRAPS.

H. GRADE AND STABILIZE CONSTRUCTION ROADS. I. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.)

SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT. J. MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.

K. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.

L. COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.

M. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS. N. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS. O. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND

APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

3. THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE

PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED. 4. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF

5. THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.

6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G., ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE TESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.

THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT, AND AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NÉCESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.

8. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.

ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES: APRIL 1 TO OCTOBER 31 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.

NOVEMBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. 10. AT NO TIME SHALL MORE THAN 1' OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.

11. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS

ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT. 12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM. THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY

13. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL

RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE). 14. WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE

APPLIED AT A MINIMUM THICKNESS OF 2". 15. ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6"

MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3. 16. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND

STANDARDS AND SPECIFICATIONS. 17. THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.

18. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.

19. ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER /OCCUPANT.

20. CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.

21. OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED

ON THE PUBLIC STREETS. 22. ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.

23. THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC CLEANED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF MERCER ISLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE—QUARTER DEPTH.

24. ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40 %-70 % PASSING; 2"-4" ROCK/30 %-40 % PASSING; AND

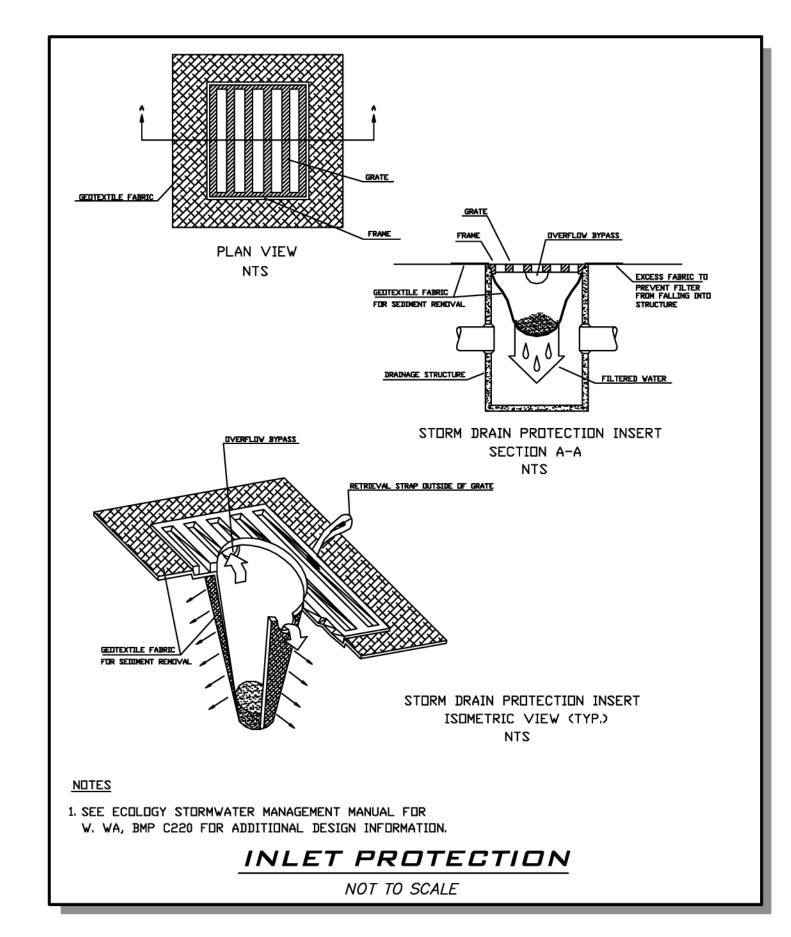
1"-2" ROCK/10 %-20 % PASSING. 25. IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION

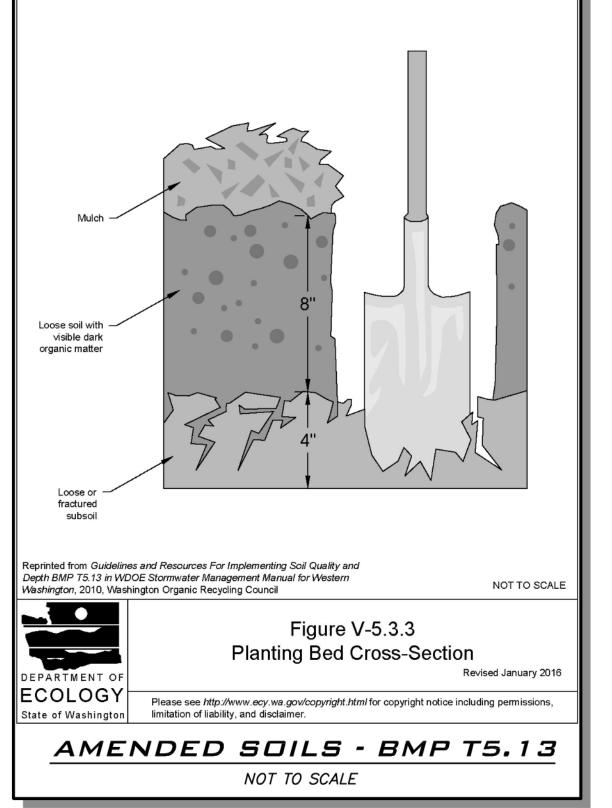
CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY. 26. ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT

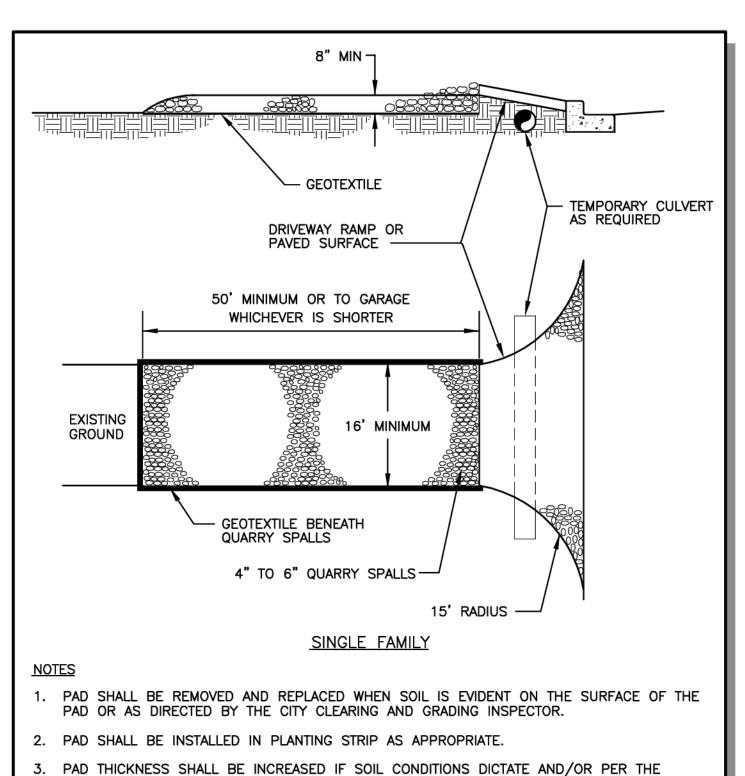
DEPOSITION AND RUNOFF.

27. DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE

28. PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.





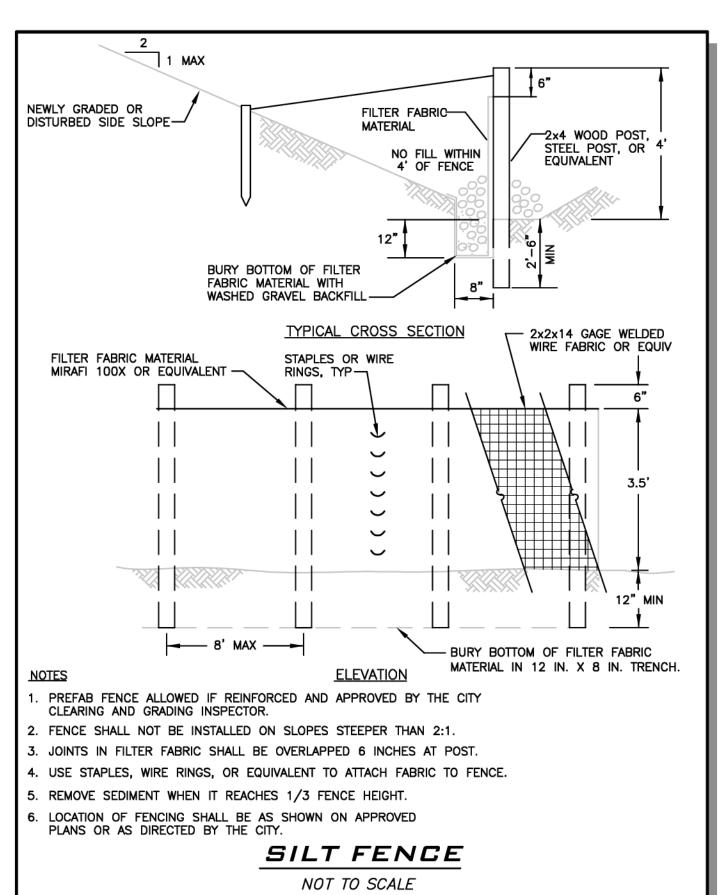


CONSTRUCTION ENTRANCE

NOT TO SCALE

DIRECTION OF THE CITY CLEARING AND GRADING INSPECTOR.

4. CONTRACTOR RESPONSIBLE FOR CURB & GUTTER CONDITION.





EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.



25 CENTRAL WAY, SUITE 400. KIRKLAND, WA 98033 P: 425.216.4051 F: 425.216.4052 WWW.THEBLUELINEGROUP.COM

SCALE: AS NOTED PROJECT MANAGER:

PROJECT ENGINEER: YANNICK METS, PE

TODD A. OBERG, PE

DESIGNER: LEE M. TOMKINS

ISSUE DATE: 10/25/2021

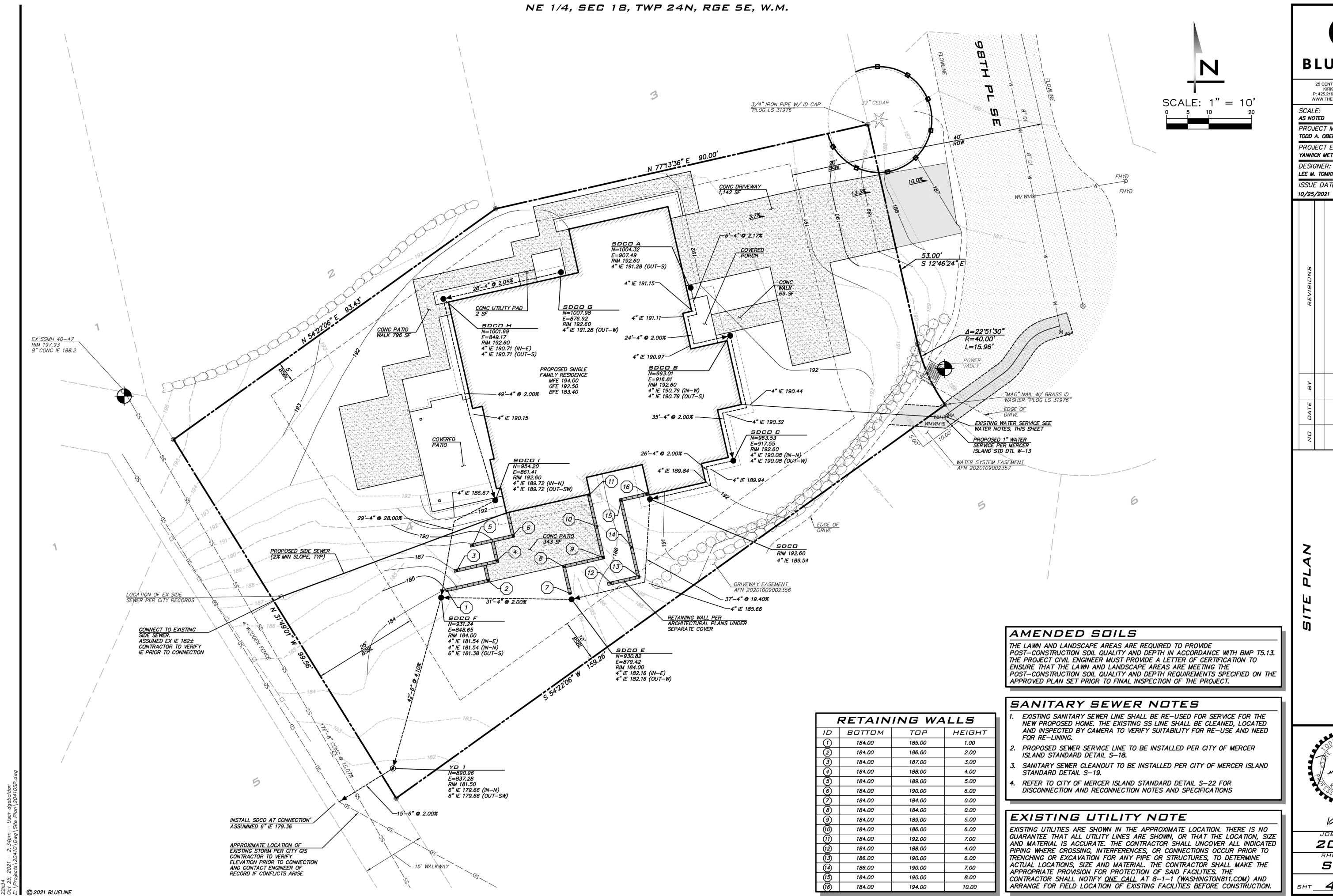


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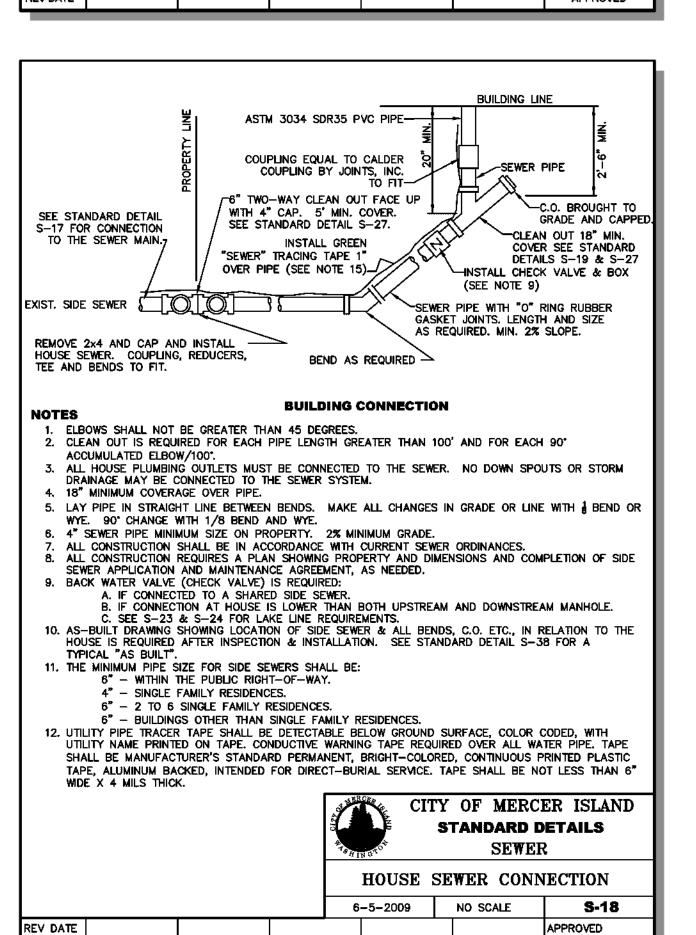
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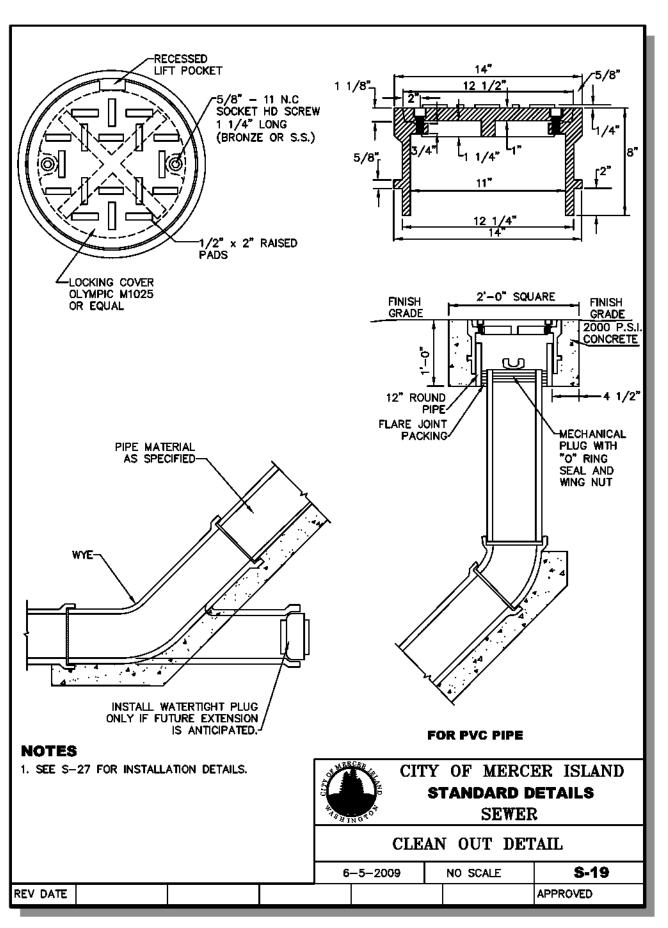
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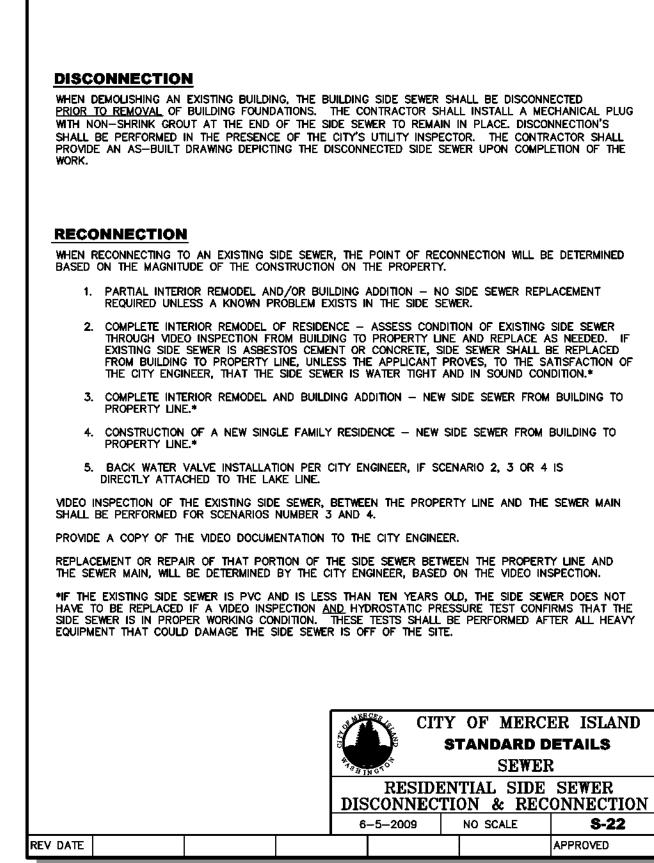
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ISSUE DATE: 10/25/2021

DATE BY REVISIONS

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